



House & Land Package

Lot 168 Kennedys Green, Stage 2

Halswell, Christchurch

Dwelling Size	Section Size
153m ²	518m ² + row78m ²

\$844,900



4



1



2



2



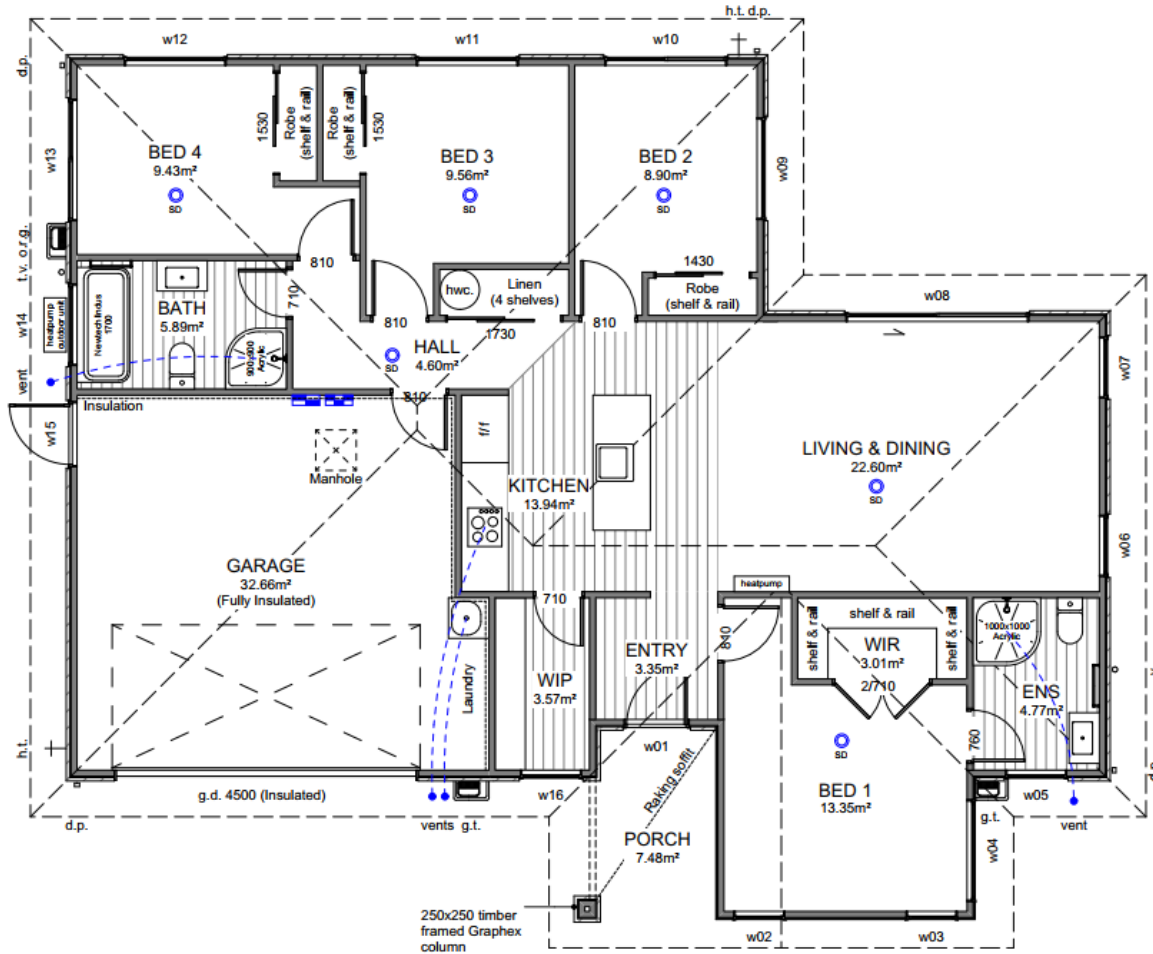
Artist Impression Only—Refer to Concept Plans

House and land package featuring four bedrooms, master includes a walk-in wardrobe and ensuite, open plan kitchen, dining and living, family sized bathroom and internal access garaging. Designed with a patio from the living space enhancing the indoor / outdoor flow. Custom designer kitchen, quality fittings and full landscaping package included.

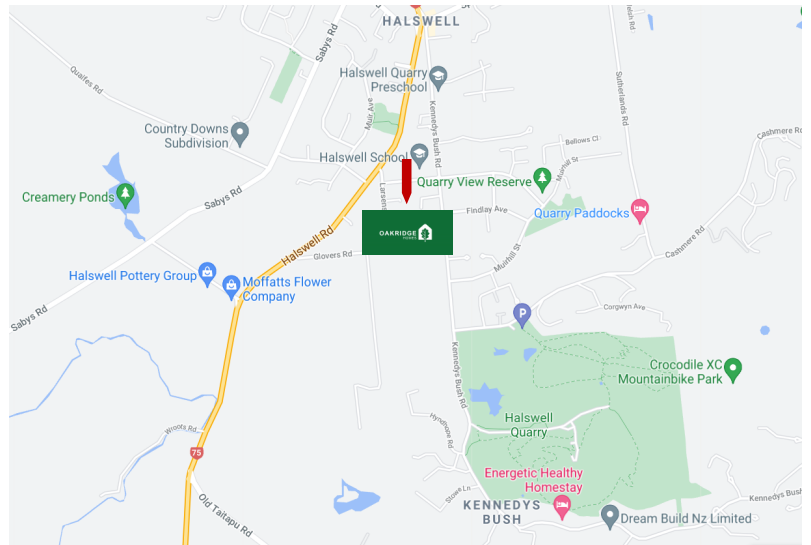
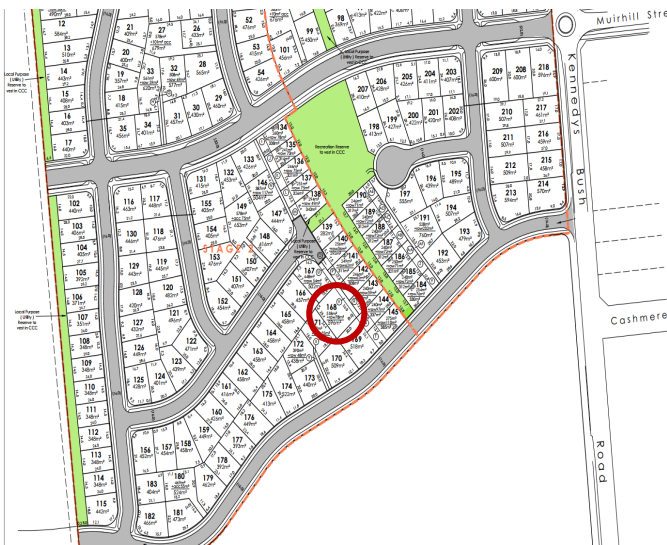
Within ten minutes drive to Christchurch City Centre Kennedys Green is surrounded by natural reserves and vast views of the Port Hills. Conveniently located within close proximity to the Halswell Shopping Centre where you will find various retail outlets, cafes, restaurants, a pharmacy and supermarket. Only steps from the recreational Quarry Park, sought-after Halswell School, public swimming pool and library Kennedys Green is a highly desirable location.



Floor Layout:



Site Location:



Disclaimer: For the use of illustrative purposes only. Oakridge Homes Limited accept no liability for any discrepancies which may become apparent once construction commences.



Specification

Lot 168 Kennedys Green, Stage 2, Halswell, Christchurch

General:			
Guarantee:	10 year Masterbuild	Insurance:	Builders All Risk
Warranty:	365 day from settlement	Utilities:	Sewer pump chamber & Fibre
Dwelling Exterior:			
Foundation:	TC2 RibRaft	Framing / trusses:	2.42m NZ5S 3602:2003 with building wrap / kiln dried pine
Roofing:	25° metal pressed tile— corona shake	Fascia and gutter:	Dimond metal fascia and quad gutter
Downpipes:	Colorsteel 75x55 rectangular	Main cladding:	Rockcote Graphex (15yr manufacturers guarantee)
Feature cladding:	James Hardie Axon	Entry door:	Thermally-broken APL 860mm Latitude with urbo lever
Window joinery:	Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames	Garage door:	Insulated Coloursteel flat panel wood-grain 4.5m
Dwelling Interior:			
Insulation:	As per Building Code—Including entire garage envelope, internal & external walls	Plasterboard:	Plasterboard - 10mm to walls, wet area to bathrooms and 13mm to ceilings
Gib stopping:	Grade 4 paint finish in accordance with AS/NZ 2311:2009	External corners:	Square stop
Hinged doors:	1980mm Straten (horizontal V groove polycore—2 line)	Wardrobe sliders:	2200mm Horizontal V groove
Wardrobe shelving:	MDF shelf and rail	Cupboard shelving:	MDF shelves x4
Door hardware:	Windsor Futura – Apex brushed nickel	Skirting board:	60mm bevel
Electrical:	As per plan	Heatpump:	As per Healthy Home Standards
Extractor:	Inline extractor fan	Hot water cylinder:	Rheem 250L
Carpet	Belgotex Urban Twist	Vinyl plank:	Belgotex Luxury Plank—Province
Splashback tiles:	100x300mm subway tile (Kitchen only)	Window coverings:	Windoware Austro roller blinds—Slate Excluding garage and bathrooms
Landscaping:			
Driveway and patio:	Exposed aggregate—sealed	Vehicle crossing:	Included
Soft landscaping:	As per plan	Fencing:	Internal fencing including one gate.



Specification











Lot 168 Kennedys Green, Stage 2, Halswell, Christchurch

Kitchen and Laundry:			
Kitchen, bench surface and splashback:	Custom made Melteca or Bestwood finished cabinetry. TriStone 12mm benchtop on negative detail. Tiled splashback full length of back bench/wall. *Refer to plans and colour scheme	Kitchen sink:	Lazio NZLSS-5545 single stainless steel sink 
Kitchen tapware:	Greens Astro II Gooseneck Slim 	Kitchen handles:	Stefano Orlati 4062— Titanium 
Oven:	Bosch HBF133BSOA 	Ceramic cooktop:	Bosch PKE611K17A 
Rangehood:	Bosch DWB97DM50A 	Dishwasher:	Bosch SMU05D05AU 
Laundry tub:	Aquatica Laundra Studio 	Feature pendant: *dependent on supply, similar fitting to be used if unavailable	Staverton 1L—black 



Specification

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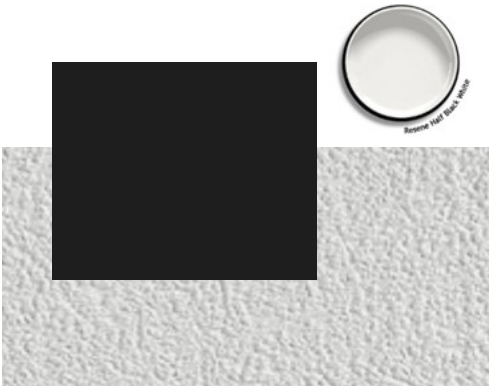
Bathrooms:			
Vanities:	Newtech Frank Plus 750mm 	Mirrors:	Polished edge direct fix—1000x750mm 
Showers:	Arena curved with moulded wall 	Toilets:	Newtech Casalino Back To Wall 
Bath:	Newtech Indus back-to-wall 1700mm 	Towel rails:	Newtech 5 bar square—heated 
Basin mixers:	Greens Astro II 	Shower / bath mixers:	Greens Astro II Round 
Shower slides:	Greens Glide Rainboost Adjustable 	Bath spout:	Greens Legacy 

Colour Scheme

Lot 168 Kennedys Green, Stage 2, Halswell, Christchurch

Exterior:		Interior:	
Roof:	Obsidian	Ceilings:	Half black white
Fascia / Gutter / Downpipes:	Ebony	Walls:	Black white
Window joinery:	Ebony	Interior doors:	Black white
Front door:	Ebony	Skirting:	Black white
Front door frame:	Ebony	Carpet:	Iron
Garage door:	Ebony	Vinyl plank:	Natural
Garage door frame:	Ebony	Kitchen cabinetry main:	Bestwood simply white
Soffits:	Half black white	Feature kitchen/ negative detail:	Subtle grey velvet
Exterior cladding : Main	Black white	Kitchen benchtop:	TriStone 12mm – Pure white
Exterior cladding: Feature	All black	Kitchen splashback:	White gloss with misty grey grout

Exterior:

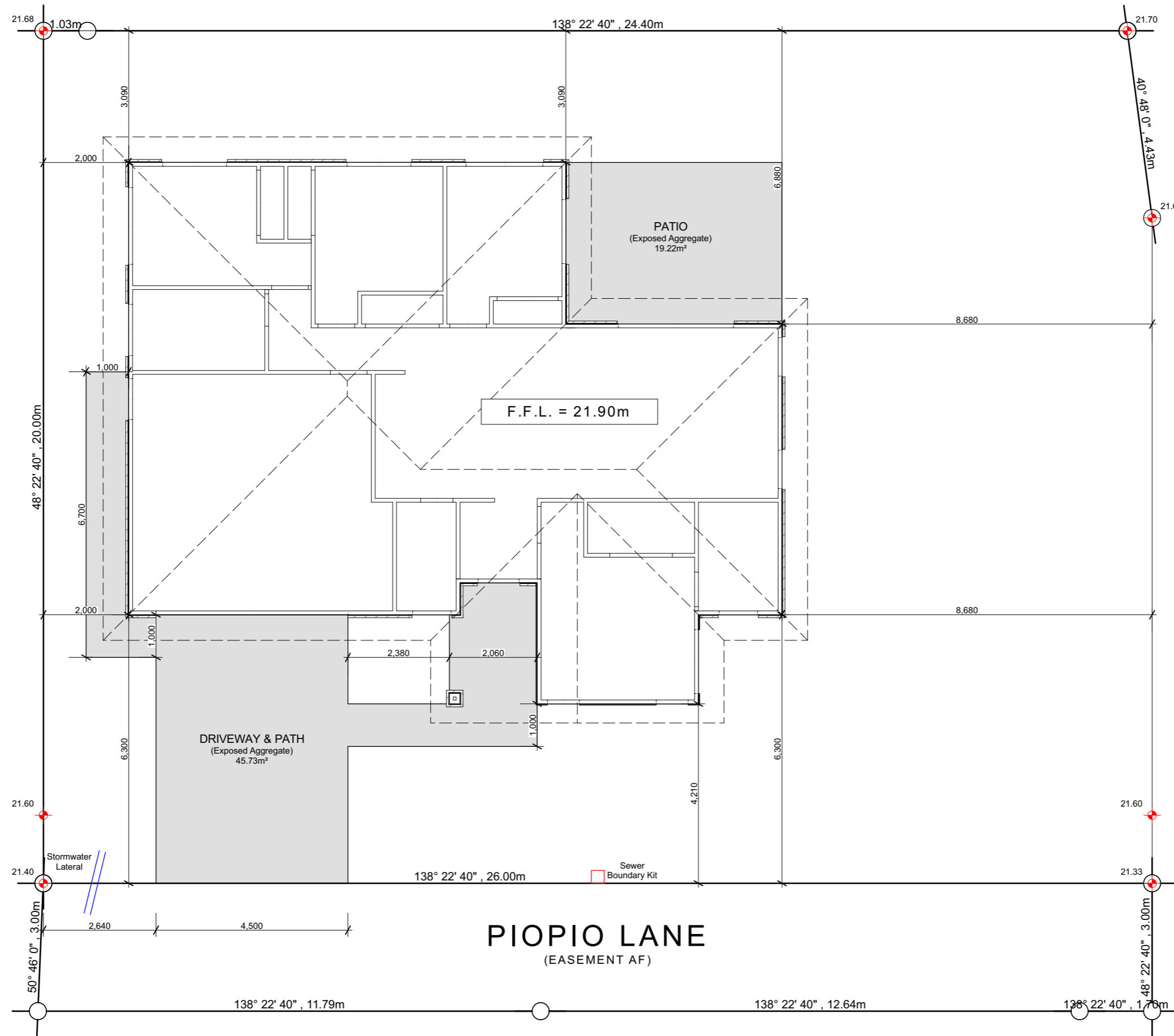
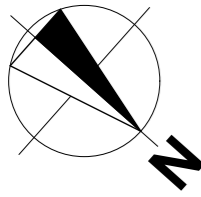


Interior:



Kitchen:





Site Info

Site Address	4 Piopio Lane Kennedys Green
Legal Description	Lot 168 DP 584756
Site Area	518m ² + 79m ² ROW
Building Area	161.05m ² (incl. covered area of 7.48m ²)
Site Coverage	31.09%

Design Basis

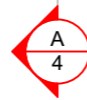
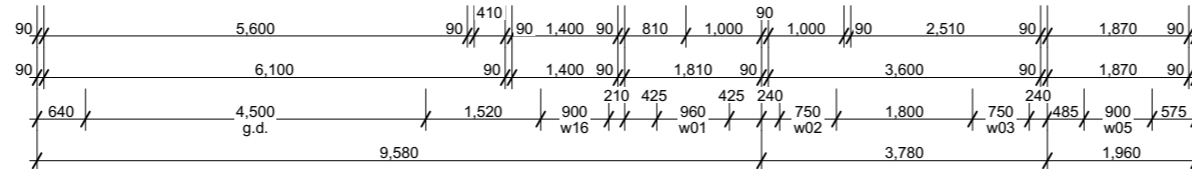
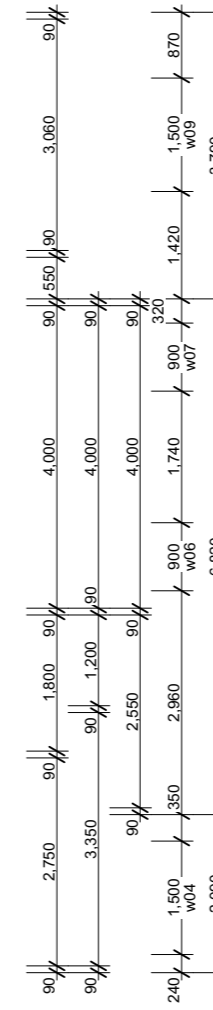
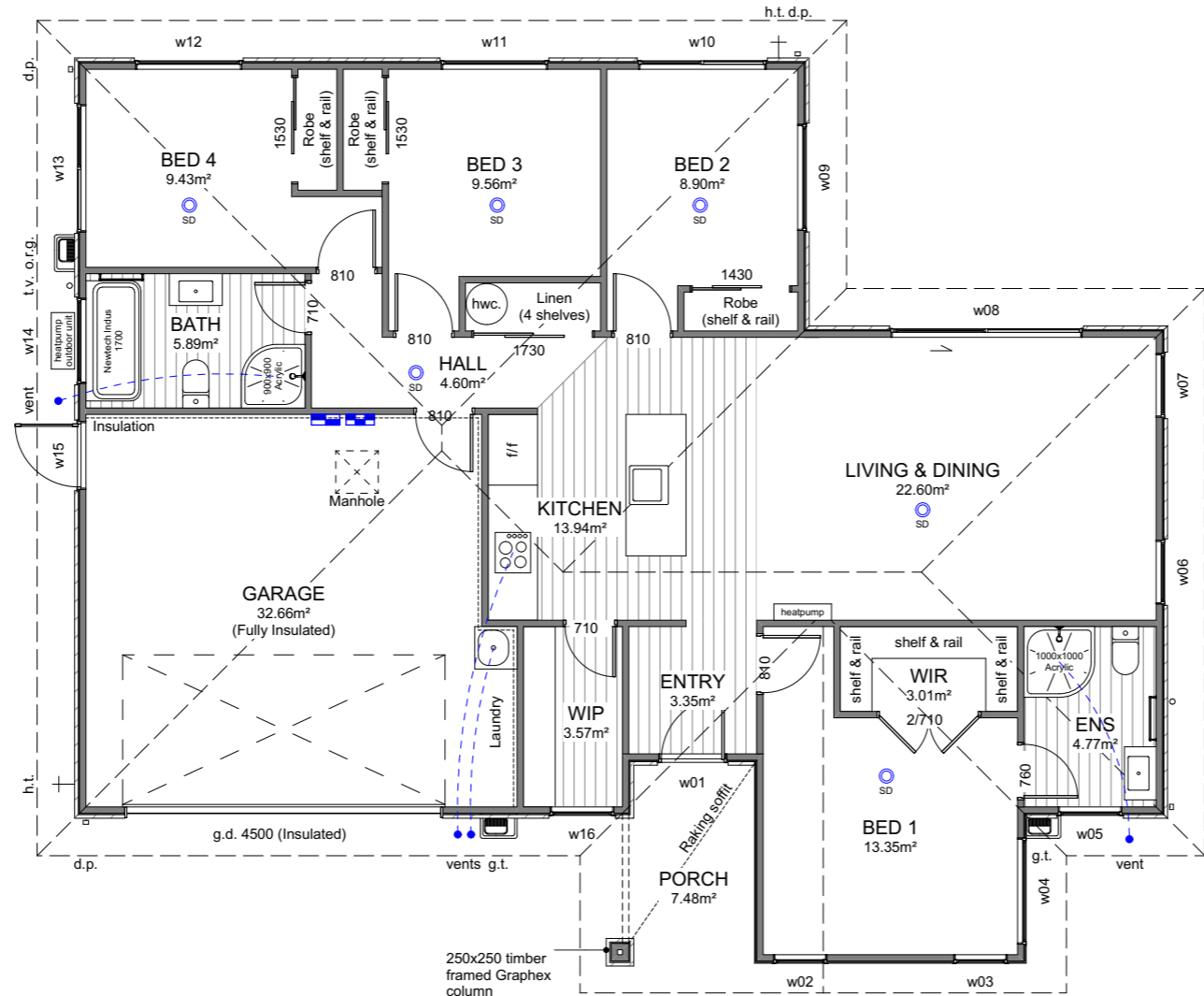
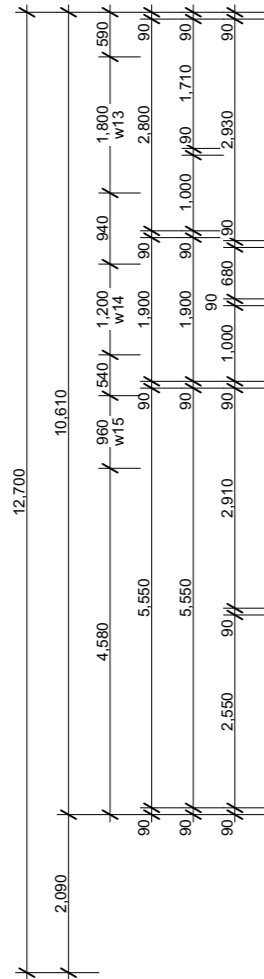
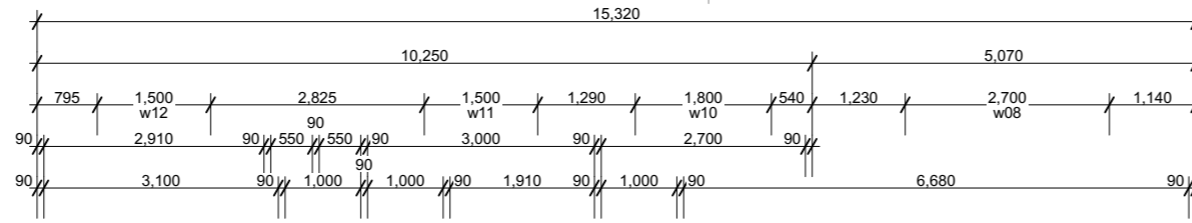
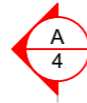
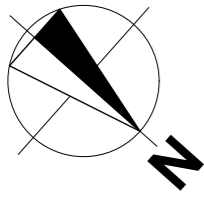
Wind Zone	High
Earthquake Zone	2
Snow Zone	N4 < 100m
Exposure Zone	C

General Notes

- All dimensions shown are to *face of foundation* unless noted otherwise.
- Refer to Foundation Plan for foundation setout.
- Refer to Drainage Plan for specific drainage info.
- Refer to Sediment Control in Specification & implement where required.
- All sealed driveway and patio areas to be min. 1:100 fall away from building.

Site Levels

- Site benchmark:
OMA 8 DP 539278
Flush in kerb
(At the intersection of Kennedys Bush Rd & Comer St)
RL=21.766m
- Origin of Levels:
EKRR (BM0148)
RL=22.816m
Located at corner of Glovers Road & Halswell Road.
Levels in terms of Christchurch Drainage Datum, July 2019 network.



Building Area

Over Frame	149.87m ²
Perimeter	57.54m
Over Cladding	153.57m ²
Perimeter	58.02m
Roof Area*	198.18m ²
Perimeter	61.56m

*Roof area includes fascia & gutter

General

Main Cladding	RCS Graphex
Feature Cladding	JH Axon Panel
Roof Pitch	25°
Roofing	Pressed Metal Tiles (Corona Shake)
Stud Height	2.42m
Interior Door	1.98m High
Wardrobe Door	2.20m High
Cooktop	Ceramic Cooktop

Note 1: Kitchen layout indicative only, refer to Kitchen Design for details.

Note 2: Tinted windows to w02, w03, w04 & w05

Legend

- Smart Meter Box & Distribution Board
- Data Box
- Smoke Detector 10 year long-life battery-operated & interconnected (Cavius)

Floor Covering

- Carpet (excl. Garage)
- Vinyl Planks

WINDOW SCHEDULE		
ID	H	W
w01	2,130	960
w02	1,400	750
w03	1,400	750
w04	1,400	1,500
w05	1,400	900
w06	2,130	900
w07	2,130	900
w08	2,130	2,700
w09	1,400	1,500
w10	500	1,800
w11	1,400	1,500
w12	1,400	1,500
w13	500	1,800
w14	1,100	1,200
w15	2,130	960
w16	1,400	900



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**WENDELBORN
 PROPERTY LTD**
 LOT 168 KENNEDYS GREEN
 4 PIOPIO LANE HALSWELL CHCH

Issue
 Concept Design

This plan is developed for the purchaser
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Floor Plan

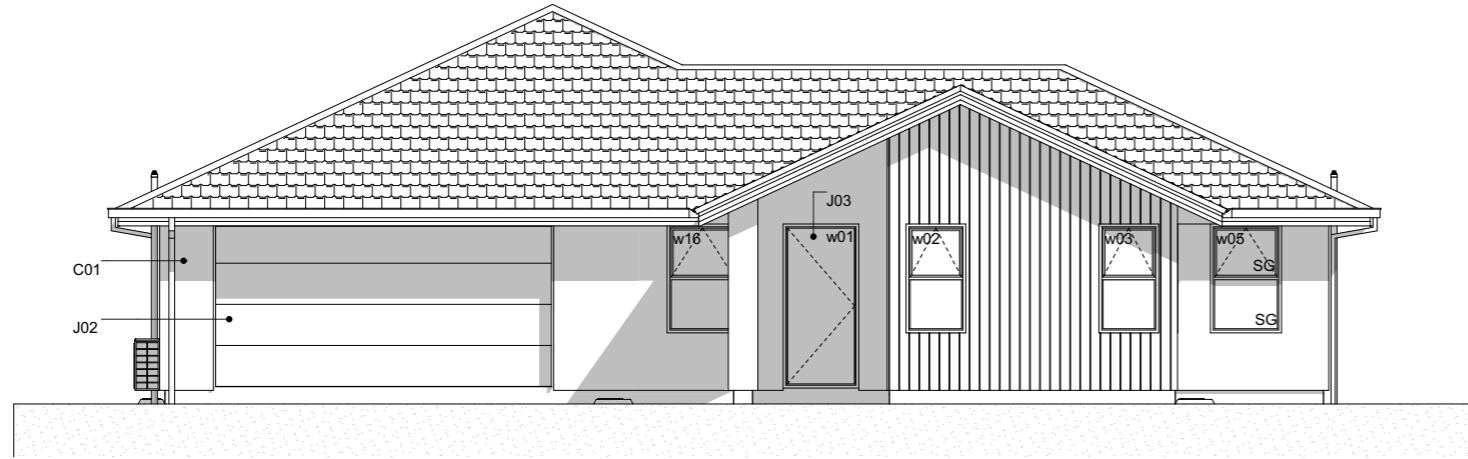
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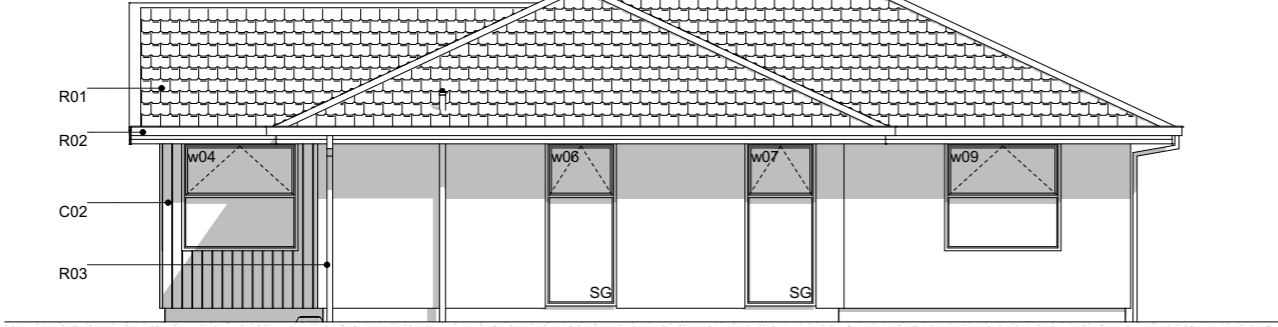
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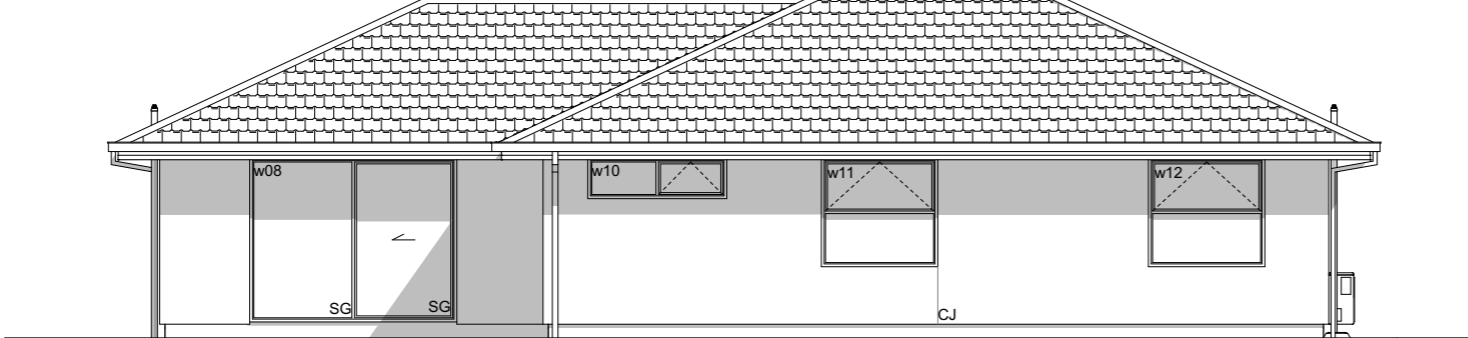
Building Height 5.29m



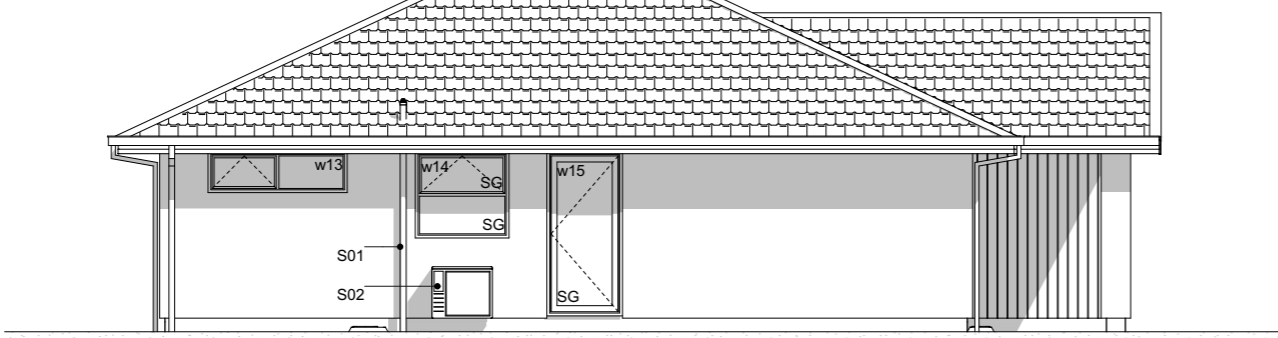
E-01 NorthEast Elevation
Scale 1:100



E-02 NorthWest Elevation
Scale 1:100



E-03 SouthWest Elevation
Scale 1:100



E-04 SouthEast Elevation
Scale 1:100

Elevation Keys

- C01 RCS Graphex 50mm panel with plastered finish on 20mm cavity battens.
- C02 James Hardie Axon panel on 20mm cavity battens.
- R01 Pressed metal tiles roofing.
- R02 Colorsteel Quad gutter supported by Colorsteel 185mm fascia.
- R03 Colorsteel 75x55mm downpipes.
- J01 Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames.
- J02 Sectional garage door.
- J03 APL entry door in thermally-broken powder coated aluminium frames.
- S01 Drainage vent pipe.
- S02 Heatpump outdoor unit on wall bracket.

Legend

- w01 Window ID
- SS Security Stay
- SG Safety Glass
- CJ Control Joint

General Notes

Driveway to fall from 20mm max. below garage rebate.



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Elevations

Scale 1:100 @ A3

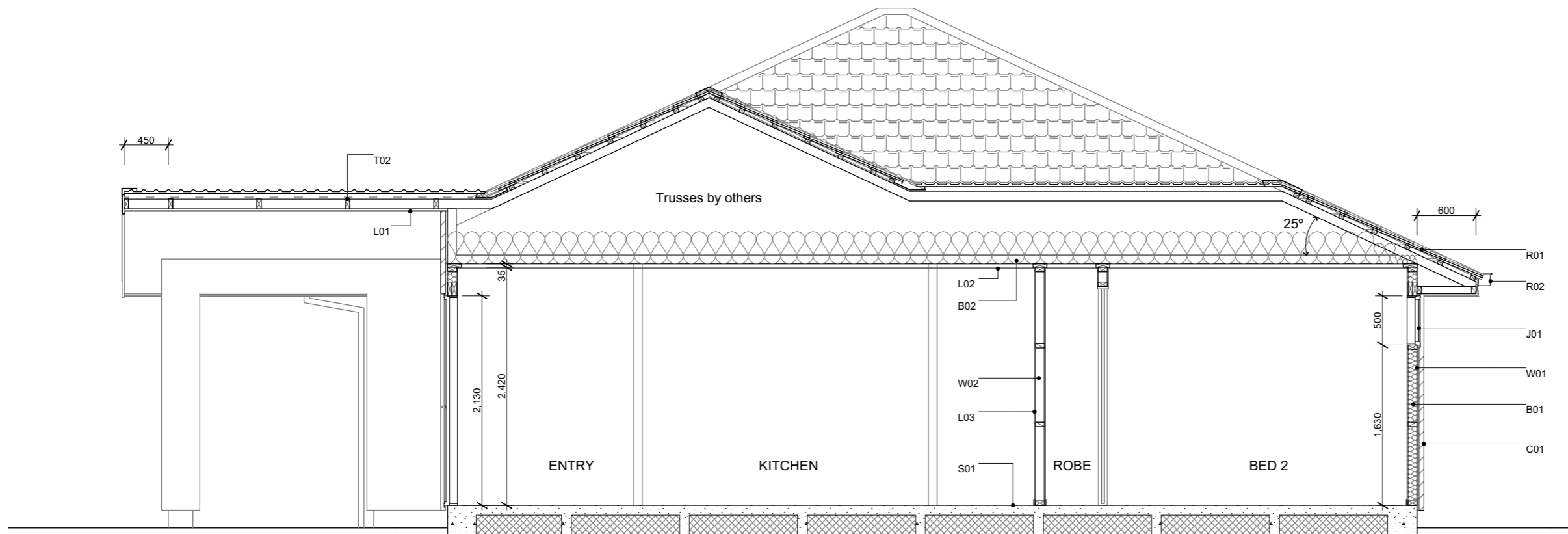
Revision 1
Date 25/07/2024
File No. 24131

Sheet No.

3

Section Keys

- C01 RCS Graphex 50mm panel with plastered finish on 20mm cavity battens over building wrap on timber framing.
- C02 James Hardie Axon panel on 20mm cavity battens over building wrap on timber framing.
- W01 External walls 90x45mm studs @ 600mm crs, dwangs @ 800mm crs. Top plates 90x45 + 140x35mm.
- W02 Internal walls 90x45mm studs @ 600mm crs, dwangs @ 800mm crs.
- S01 Ribraft foundation.
- T01 Roof trusses as per Truss Design.
- T02 Extended truss top chords / outriggers to form raking soffit.
- R01 Pressed metal tiles roofing on 50x40mm timber battens over self-supported roof underlay on trusses.
- R02 Colorsteel Quad gutter on 185mm Colorsteel fascia.
- R03 75x55mm Colorsteel downpipes with wall brackets.
- J01 Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames. H3.1 timber reveals for painted finish.
- J02 Sectional garage door. H3.1 timber reveals for painted finish.
- B01 R2.8 wall insulation batts.
- B02 R7.0 ceiling insulation batts. Compressed insulation to fit at the first 500mm from the top plate as per manufacturer's instruction. Insulation baffle required to allow for the 25mm ventilation clearance.
- L01 4.5mm Hardie soffit linings for painted finish.
- L02 13mm Gib ceiling linings supported by 35mm Rondo ceiling battens @ 600mm crs. Stopped smooth for painted finish. (Wet area ceiling 13mm Gib Aqualine)
- L03 10mm Gib wall linings stopped smooth for painted finish. (Wet area wall 10mm Gib Aqualine)



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 P R O P E R T Y L T D**
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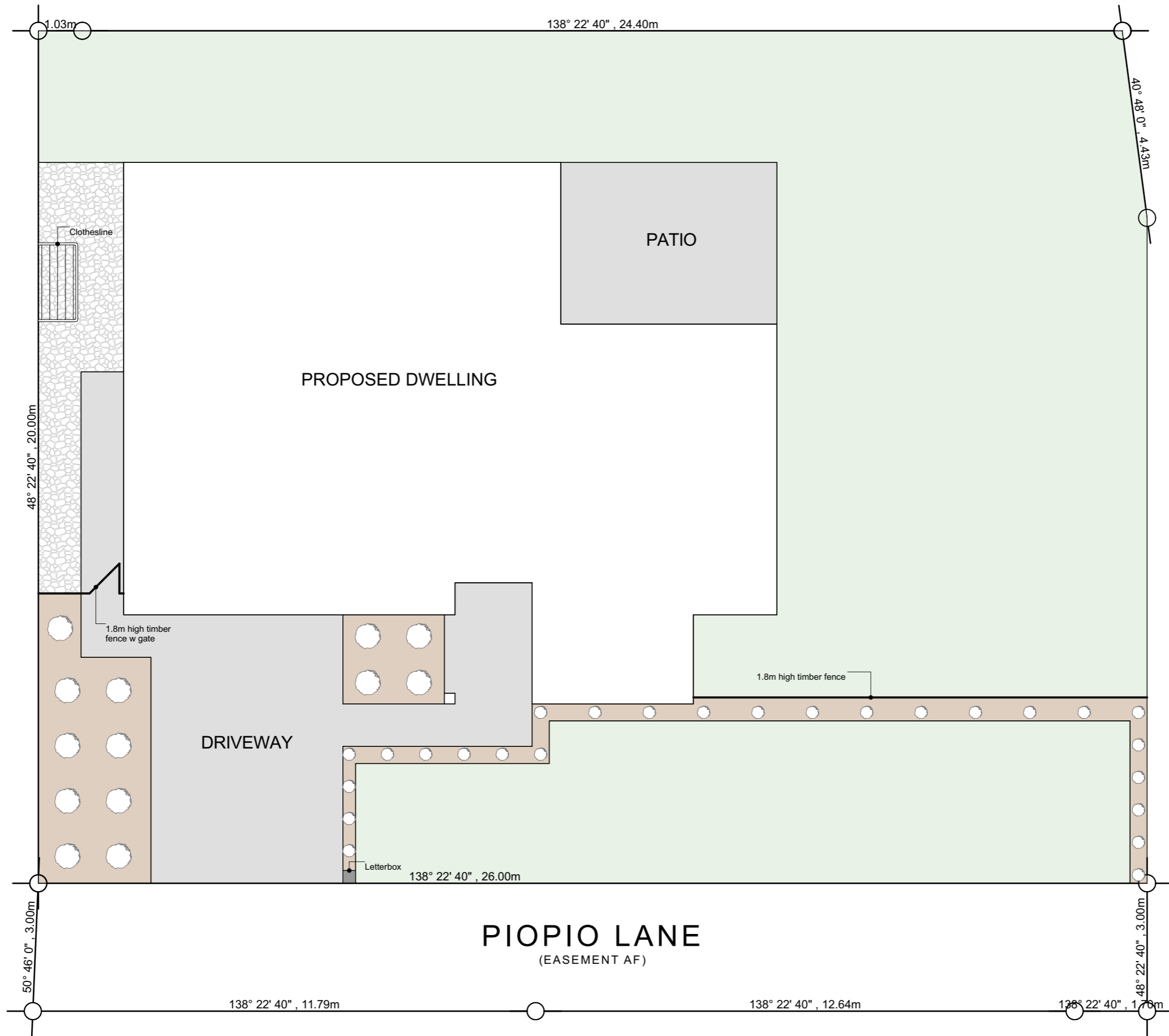
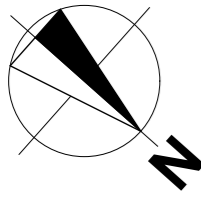
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Sheet No.





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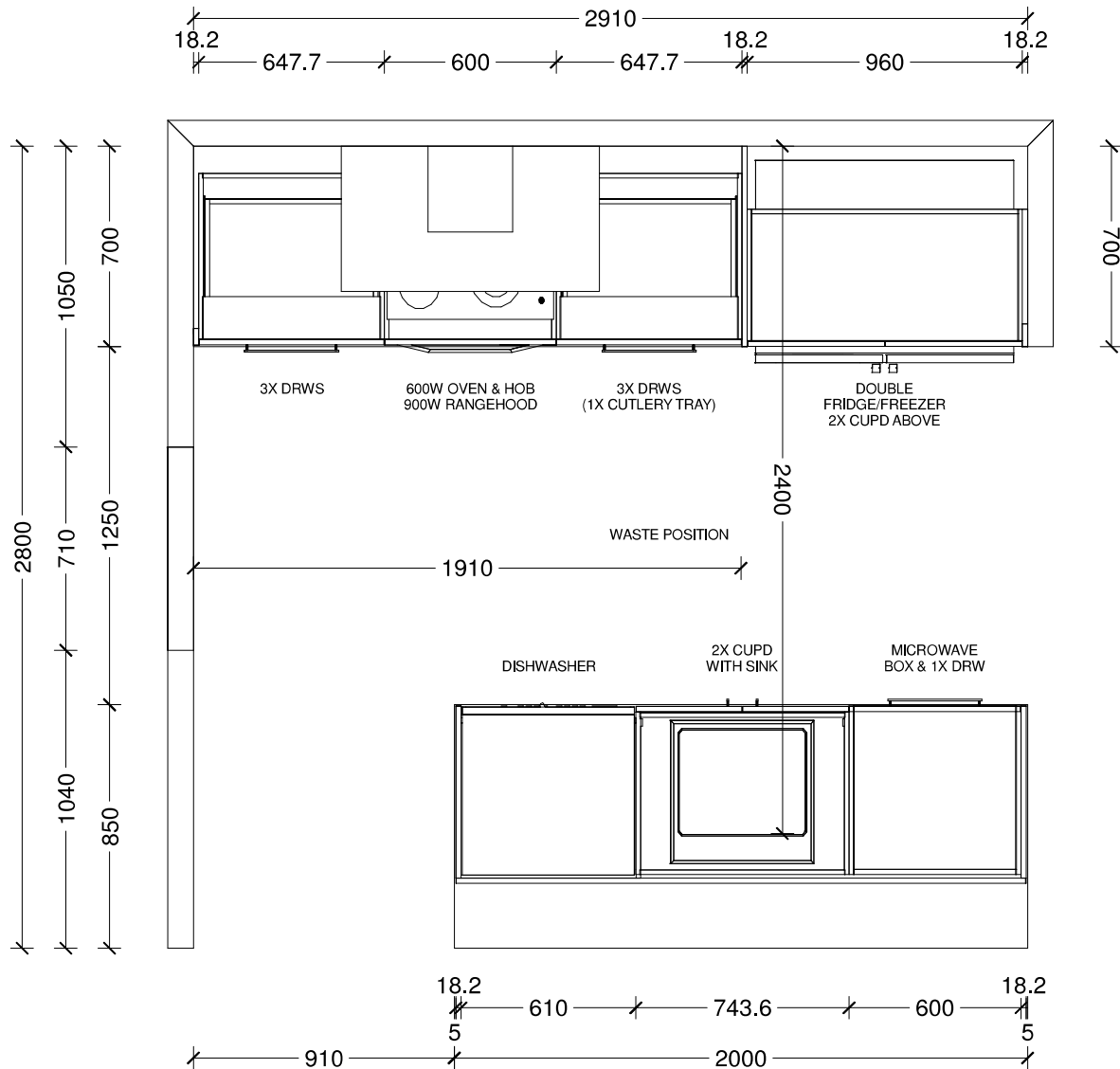
Plants List for Garden Bed

- Agapanthus Peter Pan - Dwarf blue Nile lily
 - Acacia Limelight - Dwarf wattle
 - Choisya Ternata - Mexican orange blossom
 - Carex Secta - Makura sedge
 - Lavandula angustifolia 'Hidcote' - English Lavender
 - Pittosporum little gem
 - Thuja occidentalis Smaragd - Emerald Cedar
 - Viburnum tinus Eve Price
 - Azalea
 - Corokia geentys green
 - Pseudowintera colorata 'Red Leopard' - Horopito/Pepper tree
 - Camellia 'Cinnmon Cindy'
- *Planting species for garden bed are indicative-not to be limited to.

Legends

-  Lawn
-  Exposed Aggregate w 1 shot of black oxide
-  Stonechip
-  Garden Bed with Bark

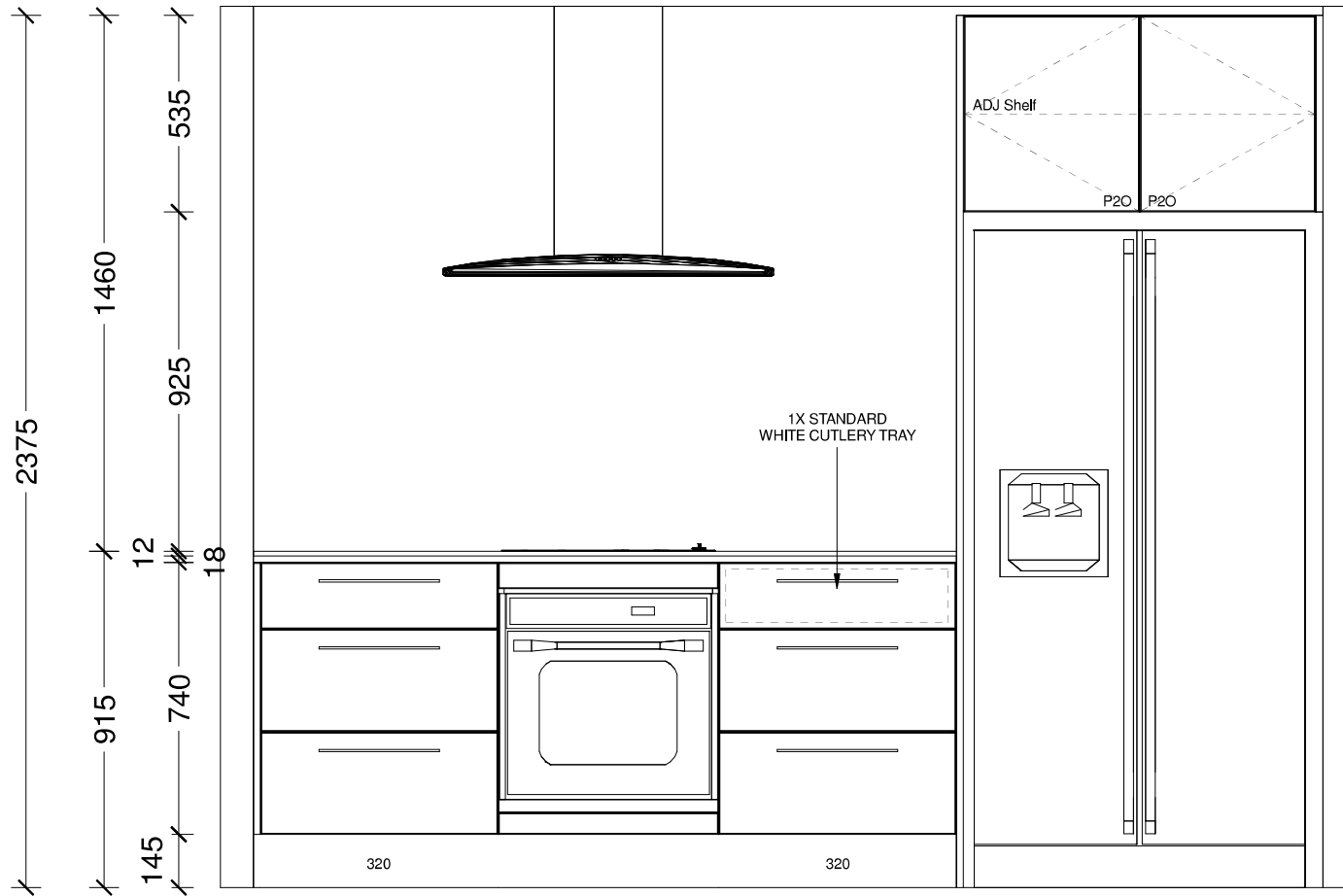




Benchtop Colour:
12mm square edge Tristone in Pure White
Back Wall Joinery Colour:
Bestwood Simply White Embossed
Island Joinery Colour:
Bestwood Subtle Grey Velvet
Negative Detail Joinery Colour:
Bestwood Subtle Grey Velvet
Handles:
4062-192/320-Titanium Grey
Sink:
Lazio NZLSS-5545 Stainless Single Bowl

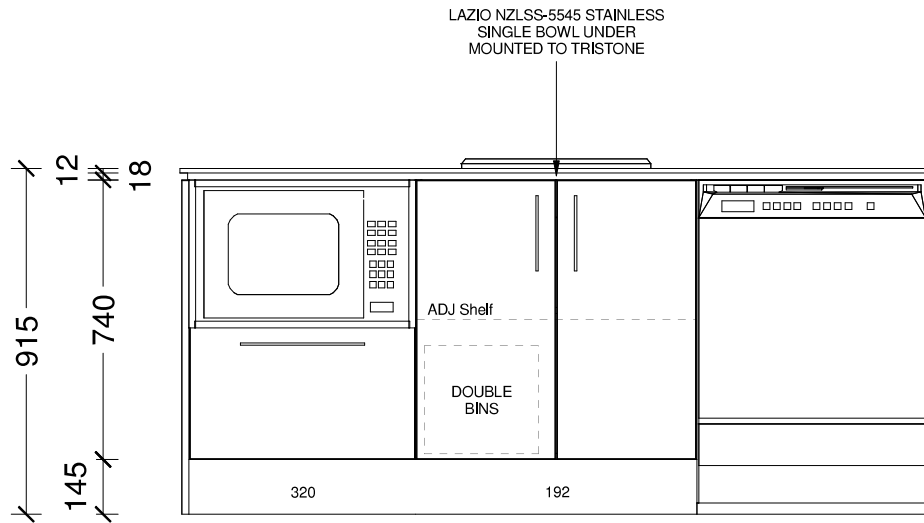
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Dwg: Kitchen Plan	Scale: 1 : 25	Customer: The Manuka			



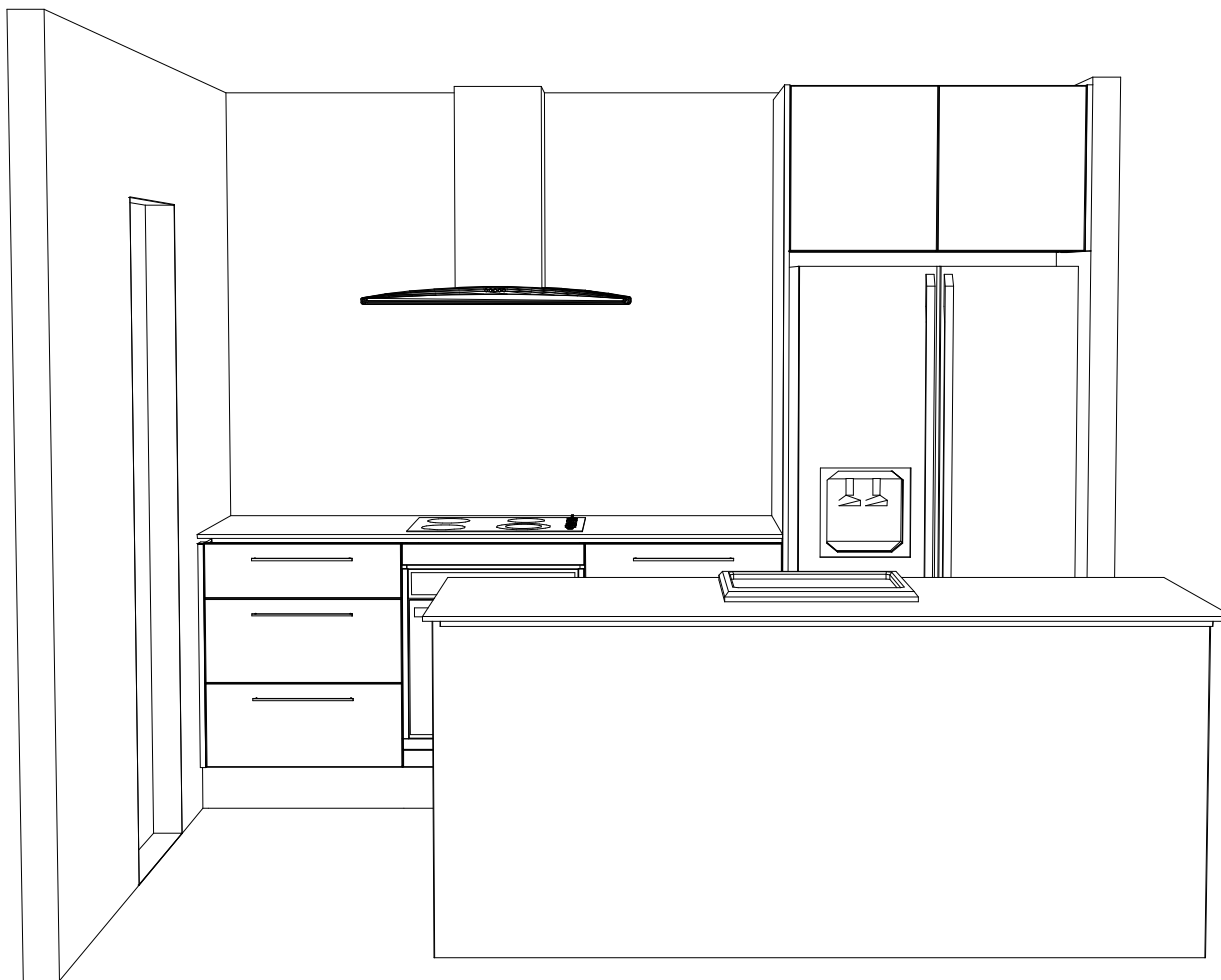


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Dwg: Kitchen Elevation	Scale: 1 : 20	Customer: The Manuka				

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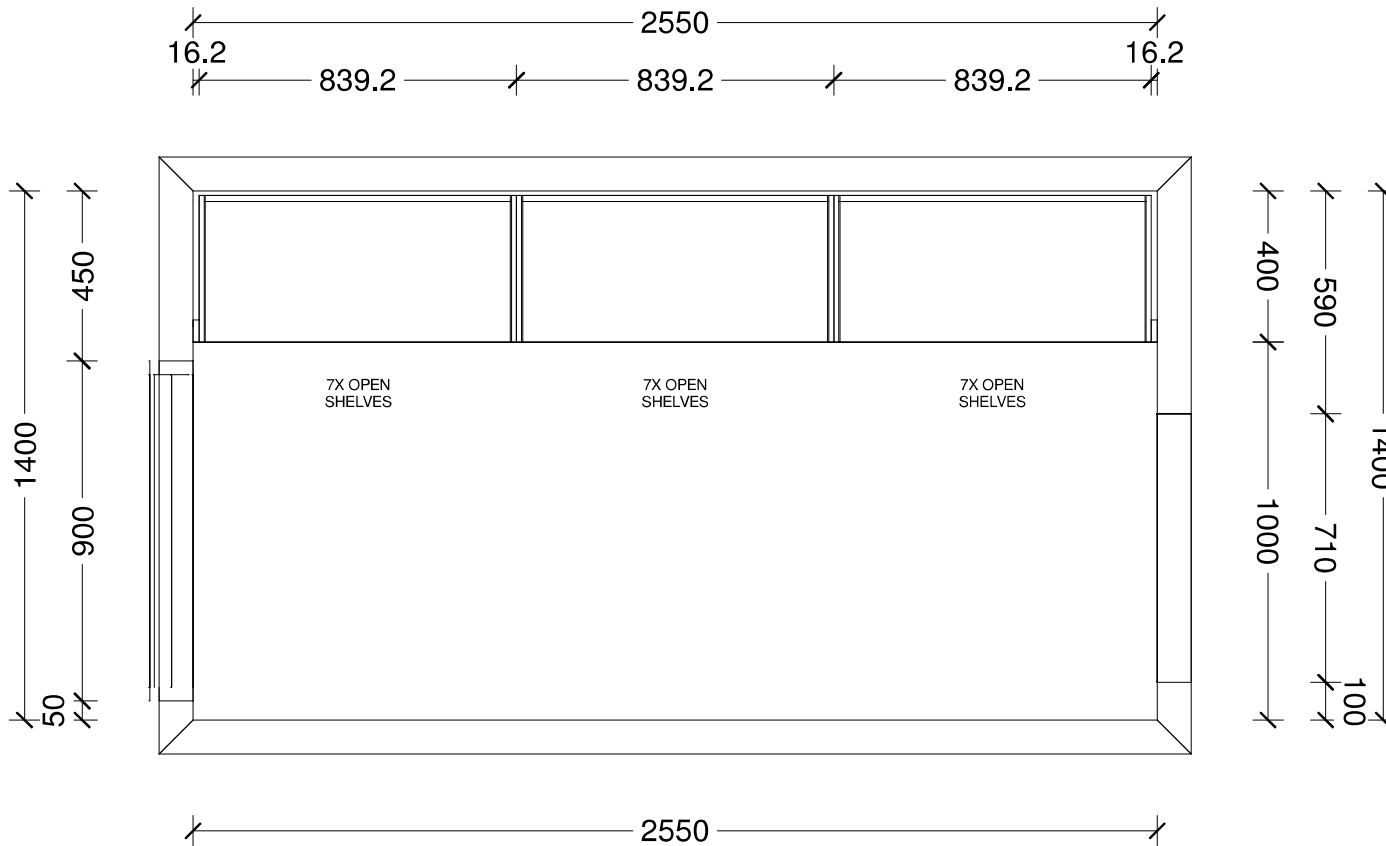


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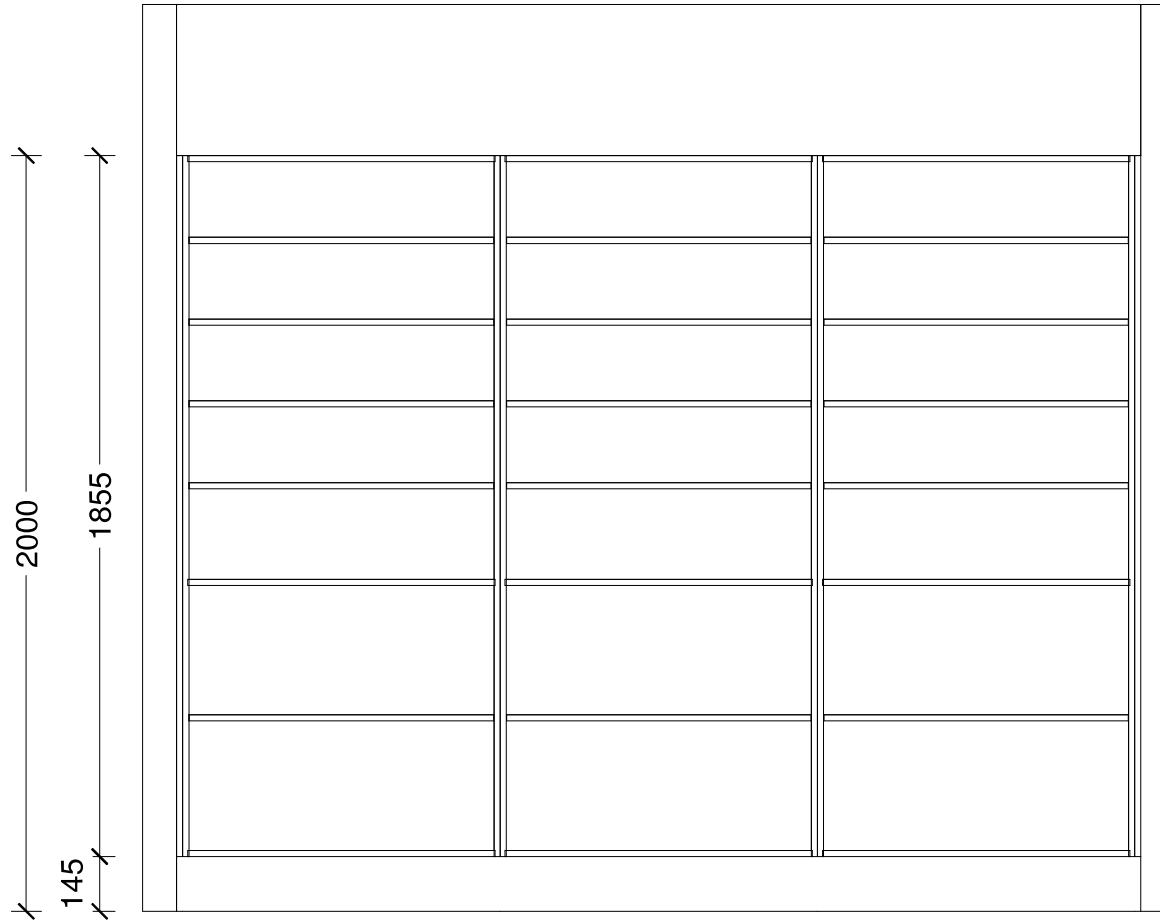
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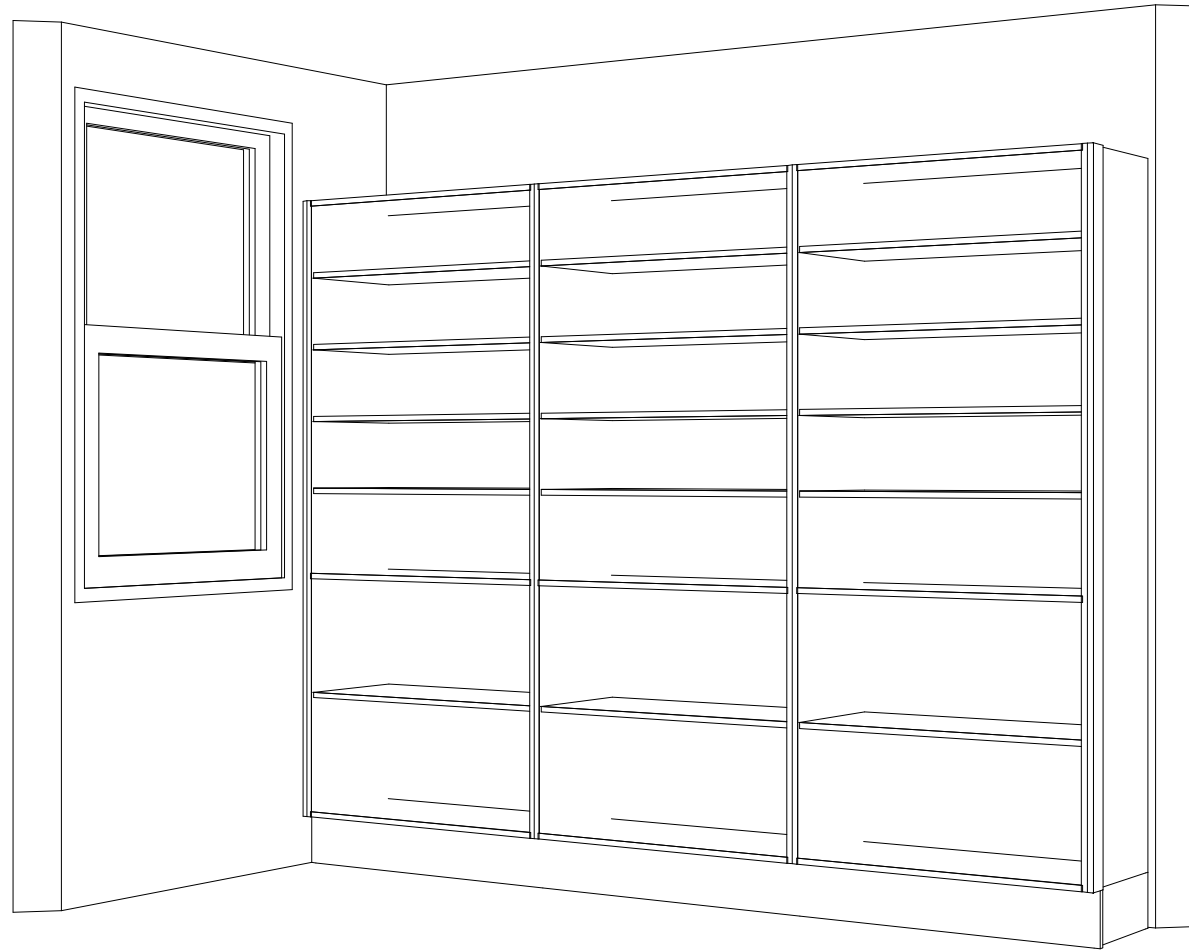
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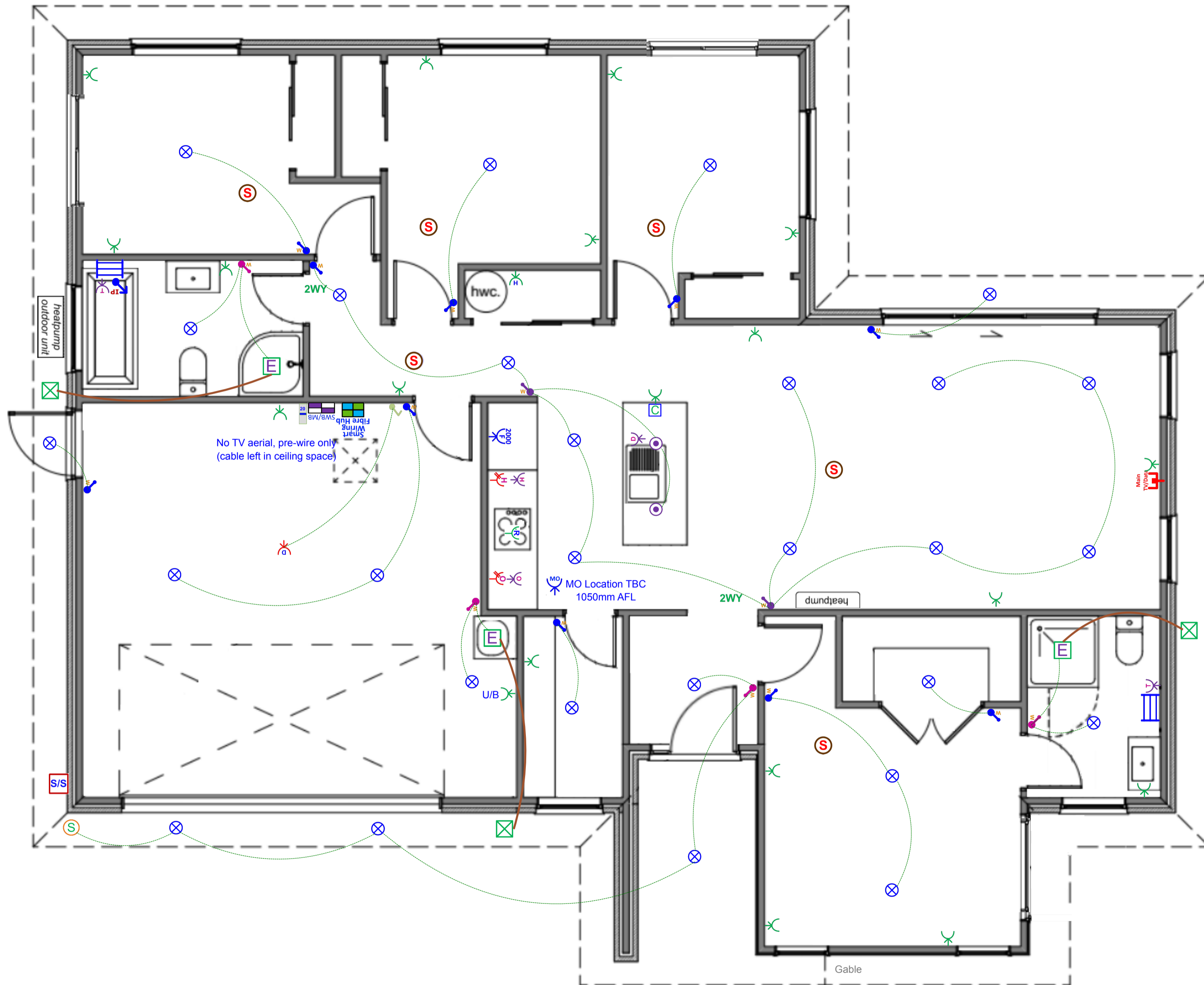
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Plan: The Manuka STD (Garage LHS) - Electrical Design

Electrical		
Item		Total
 Electrical Base with 34-Way Deep Combined Meter Switchboard		1 EA
 Tradesave Rangehood Plug		1 EA
 Tradesave Slim Single Power Socket - MO		1 EA
 Tradesave Slim Single Power Socket - F		1 EA
 Tradesave Double Power Socket Horizontal (White) 10A		19 EA
 Tradesave Slim Double Power Socket With Hob Isolator Slot		1 EA
 Tradesave Slim Double Power Socket With Oven Isolator Slot		1 EA
 Capping for sockets and/or switches in joinery		1 EA
 Garage Door Opener Switch (White)		1 EA
 Tradesave Slim Garage Door Socket & Switch		1 EA
 Tradesave Slim Dishwasher Plug		1 EA
 Tradesave Slim Electric Hob 32A		1 EA
 Tradesave Built In Oven Connection 20A		1 EA
 Tradesave Slim Hot Water Cylinder		1 EA
 Air Conditioning Circuit 20A MCB Installation For Heat Pump Circuit		1 EA
 Cavius Wireless Interconnected Smoke Detector - Photoelectric 10-year battery life		6 EA
 E-One Sewerage Grinder & Pump Power Connection		1 EA
 Tradesave Slim Heated Towel Rail Circuit & Installation		2 EA
 Newtech ST65 Towel Rail 5-Bar Square Ladder 530 x 600mm (Chrome) - Excludes Circuit & Installation		2 EA
 Extractor Fan 150mm		3 EA
 Extractor Fan External Grill		3 EA
 External 180 Degree Movement Sensor (White)		1 EA
 Recessed Downlight DL54 (White) and Circuit		28 EA

Electrical

Item	Total
 Staverton Black 1L 365mm Pendant Light, LED Lamp & Circuit	2 EA
 Tradesave Slim White Light Switch 1 Gang	10 EA
 Tradesave Slim White Light Switch 2 Gang	4 EA
 Tradesave Slim White Light Switch 3 Gang	2 EA
 2-Way Light Circuit	2 EA
 Excel Life White IP Rated Light Switch 1 Gang	1 EA
 Smart Wiring 20" Hub & Fibre Optic Pathway incl Power Circuit	1 EA
 Tradesave Slim Main TV/Data Socket (Cat6)	1 EA