

# Lot 203 Arbor Green

Stage 10, Arbor Green, Springwood, Rolleston



Artist impression only – refer to concept plan.

## House & Land Package:

# \$774,900

Family sized home featuring four bedrooms, master with ensuite, open plan kitchen living and dining, family bathroom and internal access garaging. Well appointed for the sun on a fully landscaped section, offering quality fixtures and fittings throughout.

Home area:	155m <sup>2</sup>
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Section area:	427m <sup>2</sup>
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 4	 1	 2	 2
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## Features:

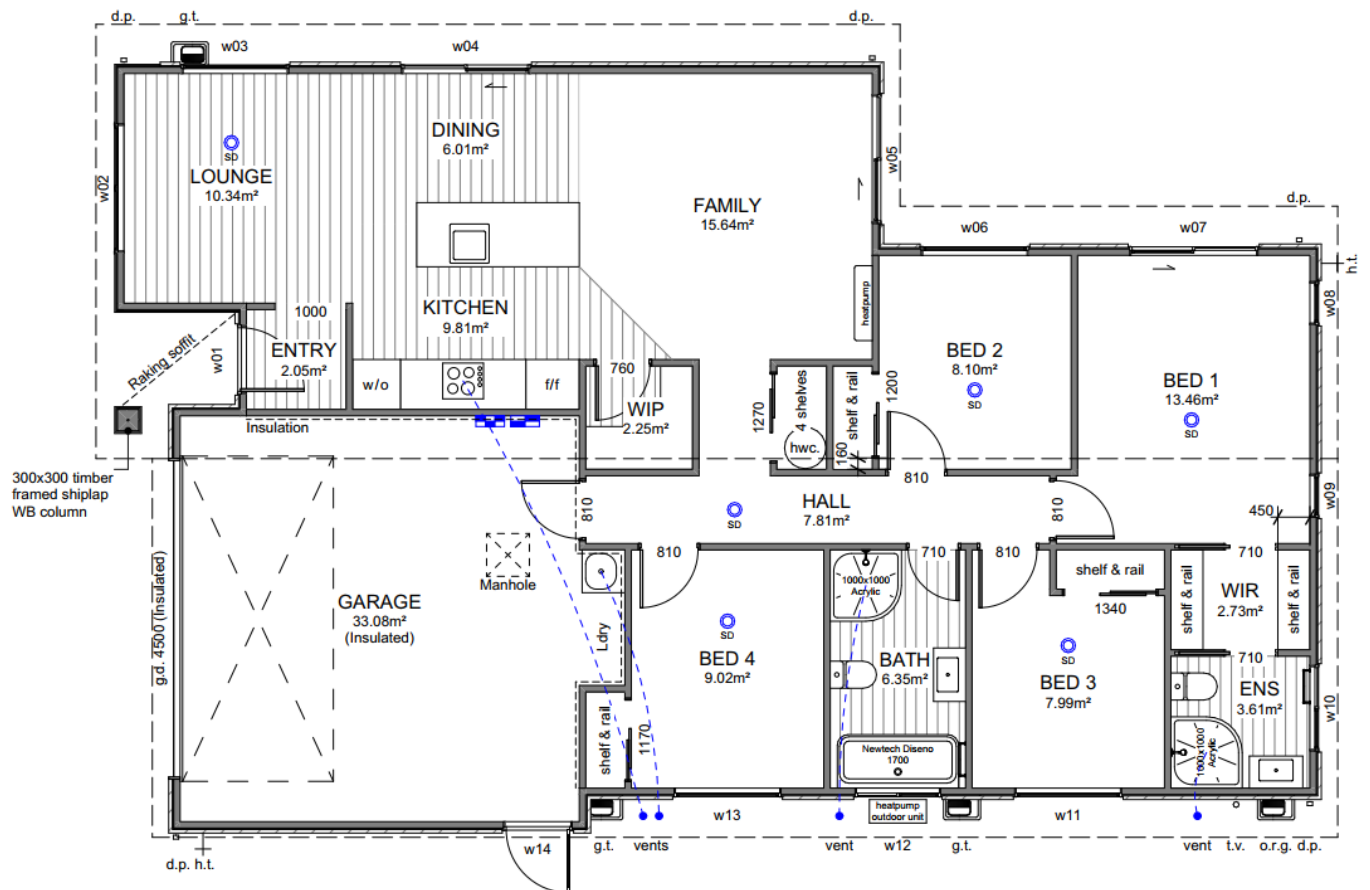
- Turnkey
- Master Build 10-Year Guarantee
- 1 year warranty period
- Healthy Homes compliant
- RibRaft foundation
- Modern bathroomware
- Custom kitchen cabinetry
- Tri-Stone benchtop
- Window coverings
- Fully landscaped

P: (03) 977 2832

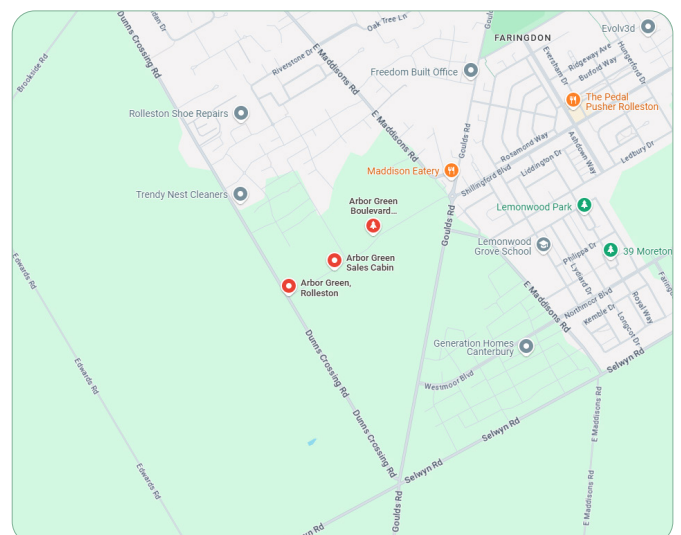
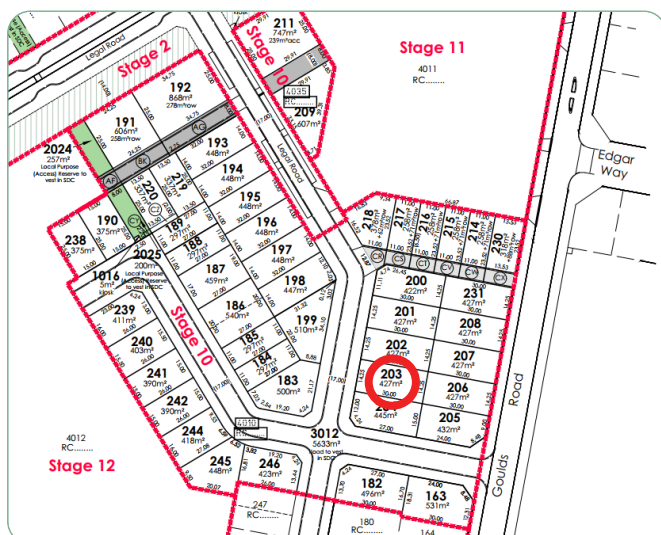
E: [info@oakridgehomes.co.nz](mailto:info@oakridgehomes.co.nz)

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## Floor Layout



## Site Location



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**E:** [info@oakridgehomes.co.nz](mailto:info@oakridgehomes.co.nz)

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**OAKRIDGE**  
HOMES



# Specification

General			
Guarantee:	Master Build 10-Year	Insurance:	Builders All Risk
Warranty	1 year from settlement	Utilities:	Mains supply including fibre
Dwelling Exterior			
Foundation:	TC1 RibRaft	Framing / trusses:	2.42m LVL
Roofing:	10° longrun corrugate	Fascia and gutter:	Dimond metal fascia and quad gutter
Downpipes:	Colorsteel 75×55 rectangular	Main cladding:	Rockcote Graphex (15yr manufacturers guarantee)
Feature cladding:	Abodo AW55 135×18mm	Entry door:	Thermally-Broken APL 860mm Latitude with urbo lever
Window joinery:	Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames	Garage door:	Insulated Coloursteel flat panel woodgrain 4.5m
Dwelling Interior			
Insulation:	As per Building Code. Including entire garage envelope - internal & external walls	Plasterboard:	Plasterboard - 10mm to walls, wet area to bathrooms and 13mm to ceilings
Gib stopping:	Grade 4 paint finish in accordance with AS/NZ 2311:2009	External corners:	Square stop
Hinged doors:	1980mm (horizontal V groove)	Wardrobe sliders:	2200mm Horizontal V groove
Wardrobe shelving:	MDF shelf and rail	Cupboard shelving:	MDF shelves x4
Door hardware:	Windsor Futura – Apex brushed nickel	Skirting board:	60mm bevel
Electrical:	As per plan	Heatpump:	Fujitsu SET-ASTH22KNTA 6.0/6.5kw
Extractor:	Inline extractor fan	Hot water cylinder:	Rheem 250L
Carpet:	Belgotex Urban Twist	Vinyl plank:	Belgotex Luxury Plank – Province
Splashback tiles:	100×300mm subway tile (Kitchen only)	Window coverings:	Windowware Everyday Vinyl Collection – Mystic. Excluding garage & bathrooms
Landscaping			
Driveway and patio:	Exposed aggregate – sealed	Vehicle crossing:	Included
Soft landscaping:	As per plan	Fencing:	As per plan
Colour Scheme			
EXTERIOR		INTERIOR	
Roof:	Ebony	Ceilings:	Half black white
Fascia, gutter & downpipes:	Ebony	Walls:	Black white
Window joinery:	Ebony	Interior doors:	Black white
Front door:	Ebony	Skirting:	Black white
Front door frame:	Ebony	Carpet:	Iron
Garage door:	Ebony	Vinyl plank:	Natural
Garage door frame:	Ebony	Kitchen cabinetry:	Simply white
Soffits:	Half black white	Feature kitchen/negative detail:	Subtle grey velvet
Exterior cladding (Main):	Black white	Kitchen benchtop:	TriStone 12mm – Pure white
Exterior cladding (Feature):	Vulcan natural	Kitchen splashback:	White gloss with misty grey grout

# Specification

## Kitchen and Laundry

### Kitchen, bench surface and splashback:

Custom made Melteca or Bestwood finished cabinetry. TriStone 12mm benchtop on negative detail. Tiled splashback full length of back bench/wall.

\*Refer to plans and colour scheme

### Kitchen sink:

Lazio NZLSS-5545 single stainless steel sink



### Kitchen tapware:

Elementi Uno Gooseneck



### Kitchen handles:

Stefano Orlati 4062— Titanium



### Oven:

Bosch HBF133BSOA



### Ceramic cooktop:

Bosch PKE611K17A



### Rangehood:

Bosch DWB97DM50A



### Dishwasher:

Bosch SMU2ITS01A



### Laundry tub:

Aquatica Laundra Studio

\*dependent on supply, similar fitting to be used if unavailable



### Feature pendant:

Staverton 1L—black



## Bathrooms

### Vanities:

Elementi Novara, 2 drawer 750mm, French Oak



### Mirrors:

Polished edge direct fix—1000×750mm



### Showers:

Arena curved with moulded wall



### Toilets:

Elementi Uno back to wall



### Bath:

Elementi Diseno back-to-wall 1700mm



### Towel rails:

Newtech 5 bar square—heated



### Basin mixers:

Elementi Cura



### Shower / bath mixers:

Elementi Cura



### Shower slides:

Elementi Rayne



### Bath spout:

Elementi Uno

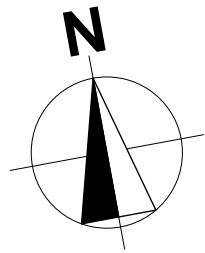


P: (03) 977 2832

E: info@oakridgehomes.co.nz

oakridgehomes.co.nz





CHARTREUSE WAY



6 Browns Road, Christchurch  
ey.archiplus@gmail.com  
021 0238 1905  
021 0221 8868



W E N D E L B O R N  
P R O P E R T Y L T D  
LOT 203 ARBOR GREEN  
CHARTREUSE WAY ROLLESTON

Issue  
Concept Design

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Site Plan

Scale 1:100 @ A3

Revision 1  
Date 12/06/2025  
File No. 25125

Sheet No.

1

## General Notes

All dimensions shown are to face of foundation unless noted otherwise.

Refer to Foundation Plan for foundation setout.

Refer to Drainage Plan for specific drainage info.

Refer to Sediment Control in Specification & implement where required.

All sealed driveway and patio areas to be min. 1:100 fall away from building.

Driveway stormwater runoff to road when it does not flow over a footpath. Otherwise driveway stormwater runoff to be collected and disposed via soak pit located within property.

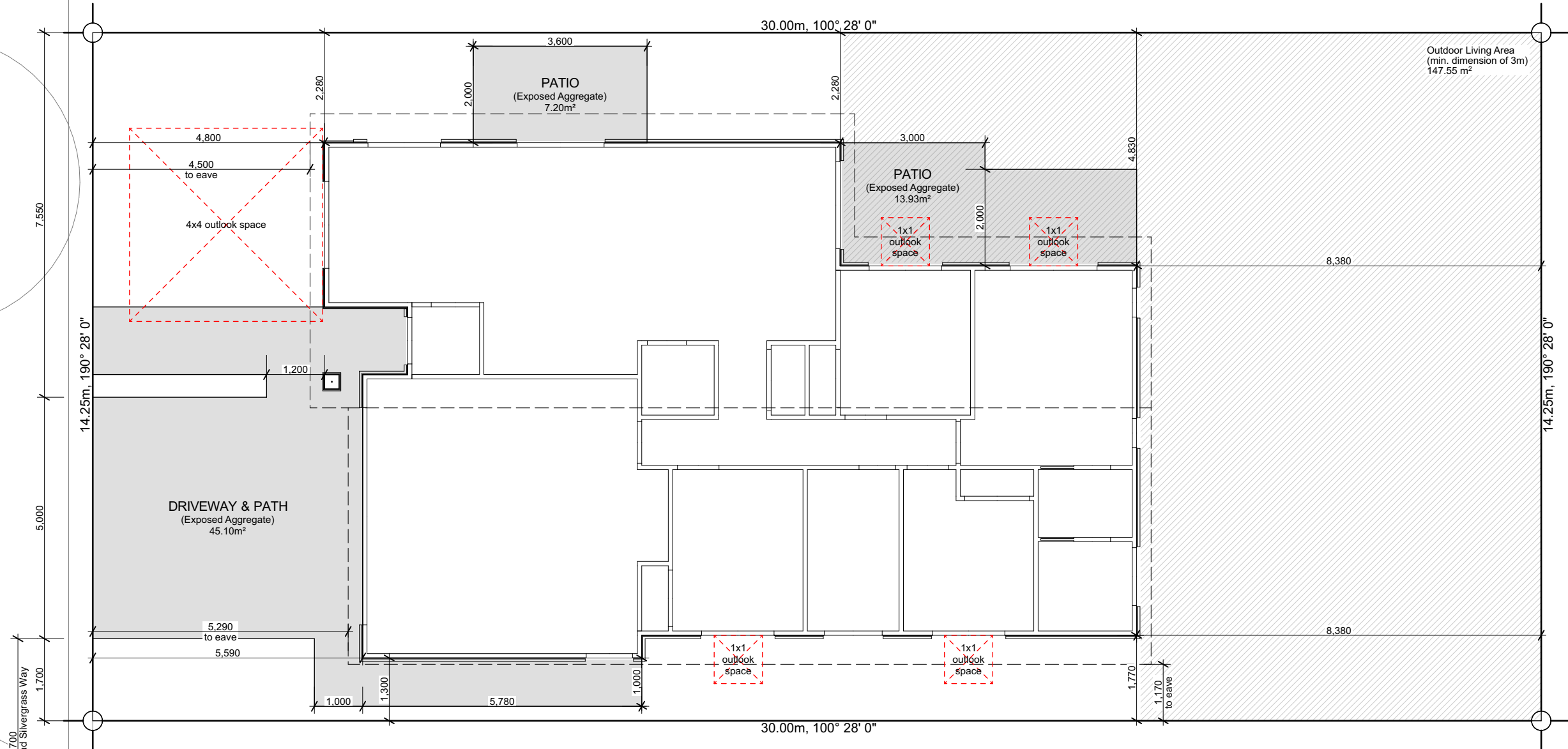
Site bearings, dimensions and North point to be confirmed upon Certificate of Title when issued.

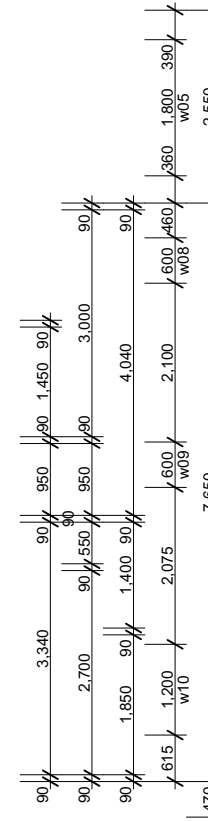
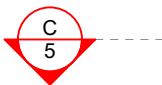
## Site Info

Site Address	Chartreuse Way Arbor Green
Legal Description	Lot 203 DP 616748
Site Area	427m <sup>2</sup>
Building Area	155.76m <sup>2</sup>
Roof Area*	184.91m <sup>2</sup>
Site Coverage	43.30%

## Design Basis

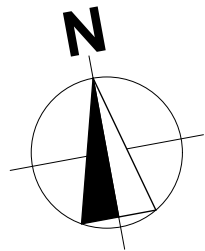
Wind Zone	High
Earthquake Zone	2
Snow Zone	N4 < 100m
Exposure Zone	C





WINDOW SCHEDULE		
ID	H	W
w01	2,130	960
w02	2,130	1,800
w03	1,400	1,500
w04	2,130	1,800
w05	2,130	1,800
w06	1,400	1,500
w07	2,130	1,800
w08	1,400	600
w09	1,400	600
w10	1,100	1,200
w11	1,400	1,500
w12	1,100	1,200
w13	1,400	1,500
w14	2,130	960

2



Roof Cladding

10° Colorsteel corrugate roofing over  
Thermakraft 215 roof underlay.

Fascia & Gutter

Colorsteel Quad gutter supported on 185mm  
Colorsteel fascia.

Downpipes

75x55mm Colorsteel downpipes with wall  
brackets.

Roof Penetrations

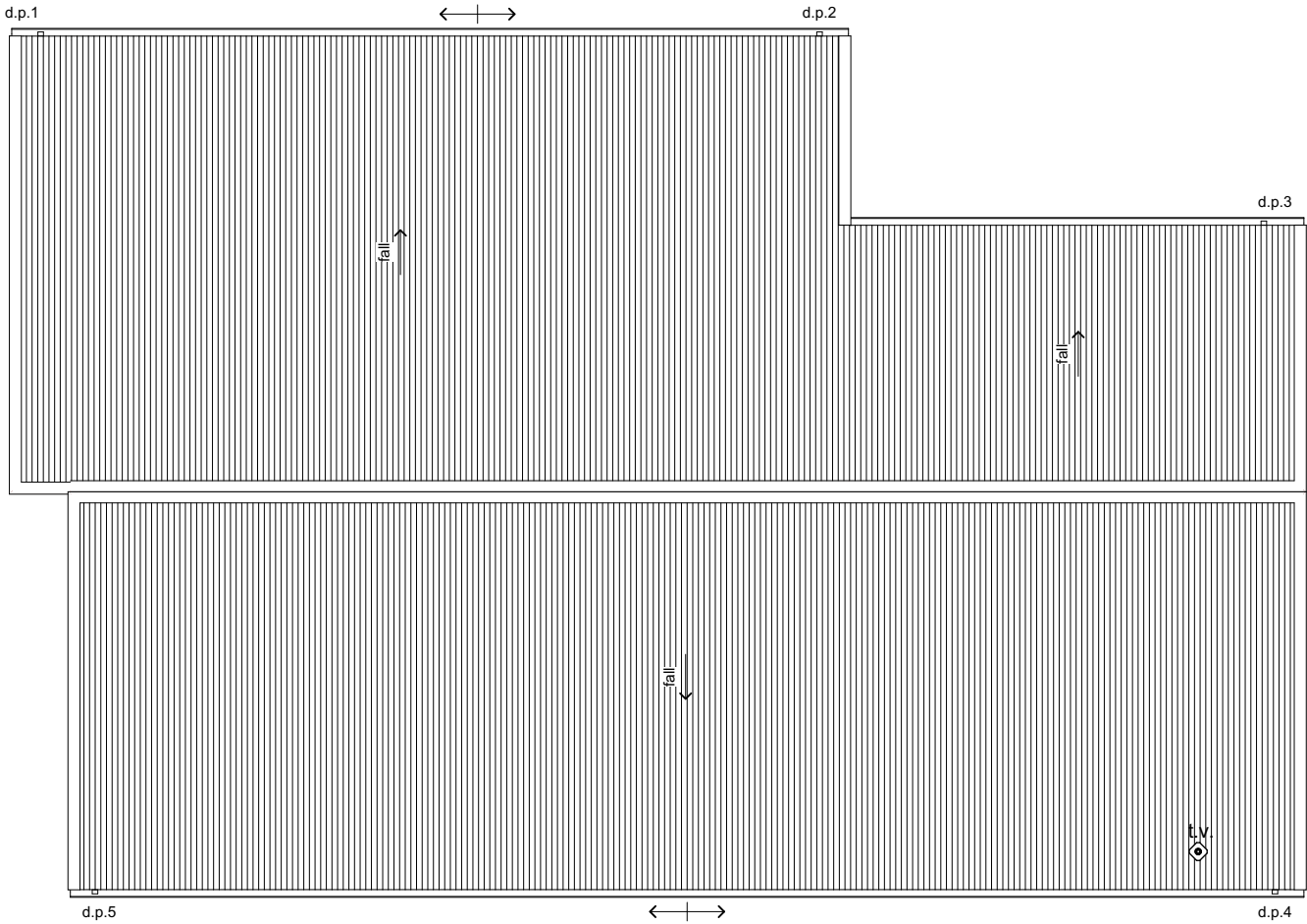
Seal all pipe penetrations with Dektite  
flashing kit as per specification.

Downpipe Catchment  
(Plan Area)

d.p.1	38m <sup>2</sup>
d.p.2	30m <sup>2</sup>
d.p.3	22m <sup>2</sup>
d.p.4	44m <sup>2</sup>
d.p.5	44m <sup>2</sup>

Roof Bracings

Refer to truss design.



6 Browns Road, Christchurch  
ey.archiplus@gmail.com  
021 0238 1905  
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CHARTREUSE WAY ROLLESTON

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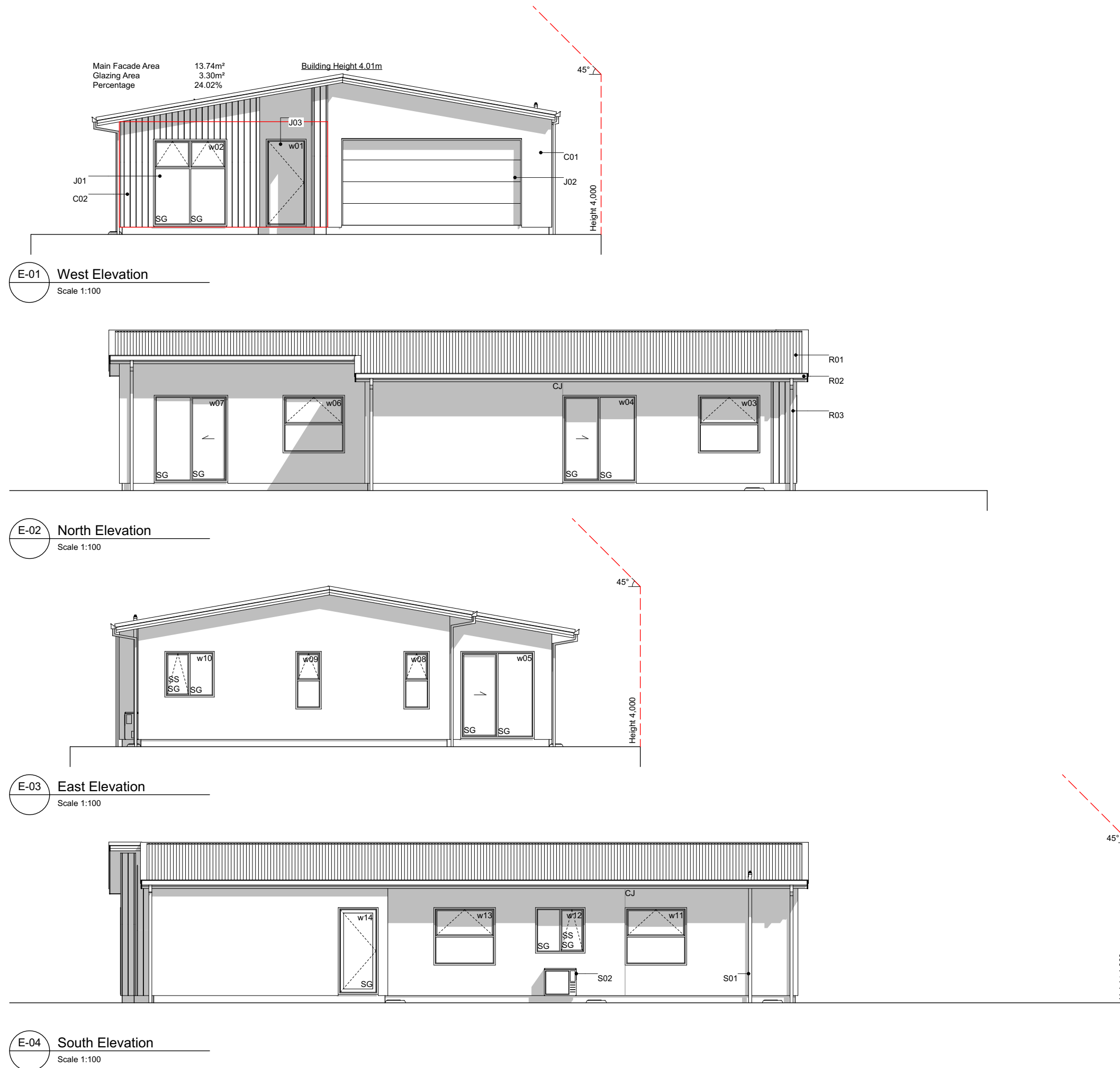
Roof Plan

Scale 1:100 @ A3

Revision	1
Date	12/06/2025
File No.	25125

Sheet No.

3



## Elevation Keys

- |     |  |
|-----|--|
| C01 | RCS Graphex 50mm panel with plastered finish on 20mm cavity battens.                         |
| C02 | Abodo Vulcan shiplap weatherboard on 20mm horizontal castellated cavity battens.             |
| R01 | Colorsteel corrugate roofing.  |
| R02 | Colorsteel Quad gutter supported by Colorsteel 185mm fascia.                                 |
| R03 | Colorsteel 75x55mm downpipes.  |
| J01 | Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames. |
| J02 | Sectional garage door.   |
| J03 | APL entry door in thermally-broken powder coated aluminium frames.                           |
| S01 | Drainage vent pipe.  |
| S02 | Heatpump outdoor unit on wall bracket.   |

## Legend

- |     |               |
|-----|---------------|
| w01 | Window ID     |
| SS  | Security Stay |
| SG  | Safety Glass  |
| CJ  | Control Joint |

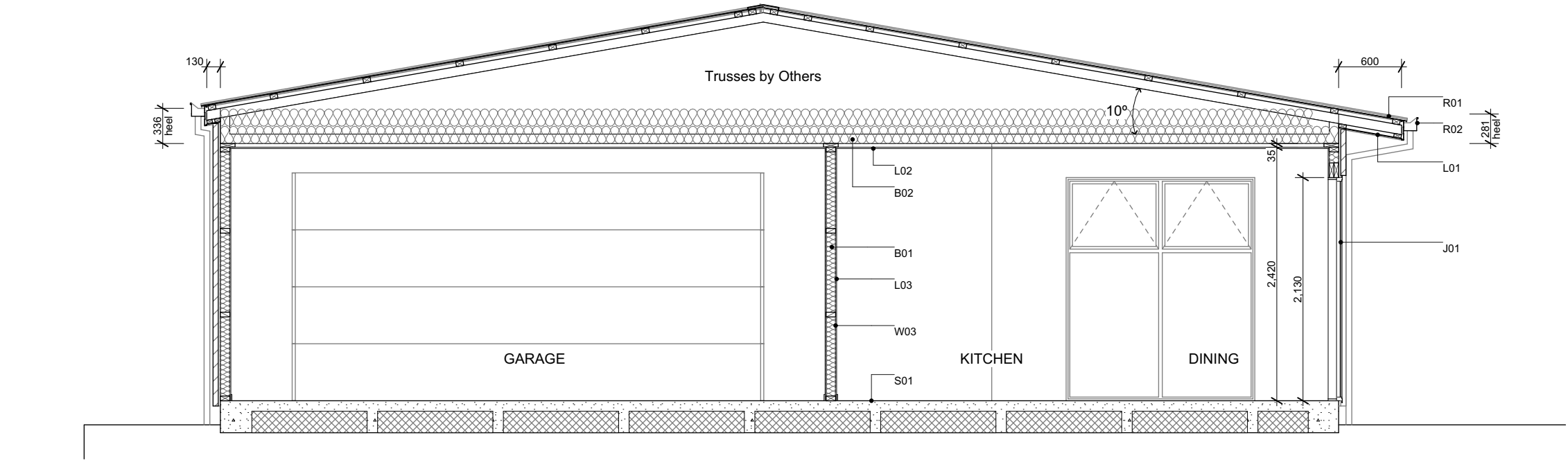
## General Notes

Driveway to fall from 20mm max. below garage rebate.

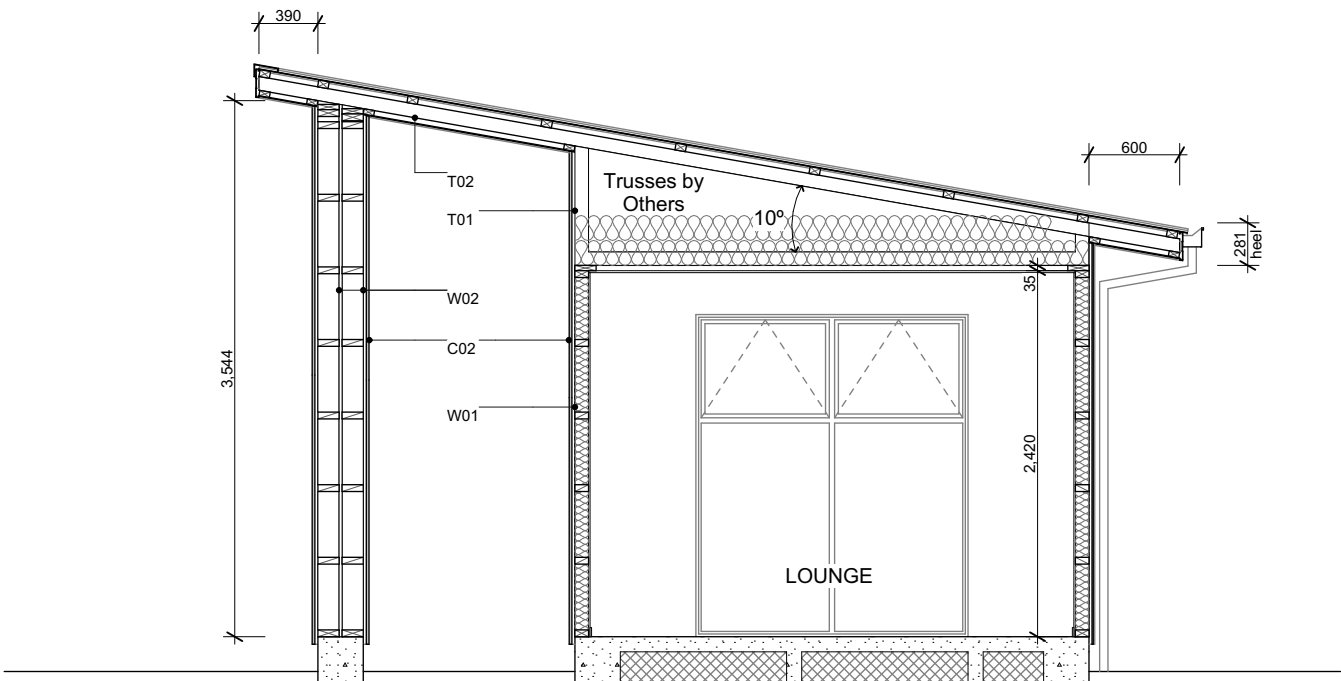


Section Keys

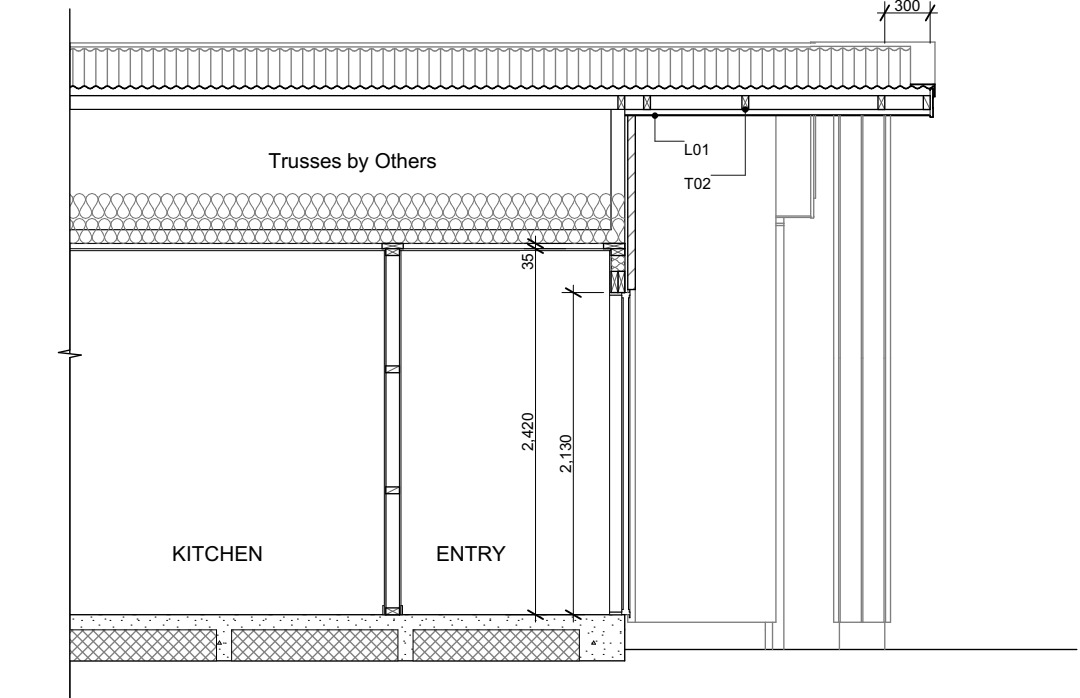
- C01
- RCS Graphex 50mm panel with plastered finish on 20mm cavity battens over building underlay on timber framing.
- C02
- Abodo Vulcan shiplap weatherboard on 20mm horizontal castellated cavity battens over building underlay on timber framing.
- W01
- External walls 90x45mm studs @ 600mm crs, dwangs @ 800mm crs (dwangs @ 480mm crs for shiplap WB). Top plates 90x45 + 140x35mm.
- W02
- External walls 140x45mm studs @ 600mm crs, dwangs @ 800mm crs. Top plates 140x45 + 140x35mm.
- W03
- Internal walls 90x45mm studs @ 600mm crs, dwangs @ 800mm crs.
- S01
- Ribraft floor slab and foundation.
- T01
- Roof trusses as per Truss Design.
- T02
- Extended truss top chords / purlins to form raking soffit, refer to Truss Design.
- R01
- Colorsteel corrugate roofing over self-supported roof underlay on 70x45mm purlins on trusses.
- R02
- Colorsteel Quad gutter on Colorsteel fascia.
- R03
- 75x55mm Colorsteel downpipes with wall brackets.
- J01
- Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames. H3.1 timber reveals for painted finish.
- J02
- Sectional garage door. H3.1 timber reveals for painted finish.
- B01
- R2.6 wall insulation batts.
- B02
- 2 x R3.6 (165mm) double layer ceiling insulation batts. Single layer along the perimeter edge 250mm from the outer edge of top plate of Lounge/ Dining/ Family.
- L01
- 4.5mm soffit linings for painted finish.
- L02
- 13mm Gib ceiling linings supported by 35mm Rondo ceiling battens direct fixed @ 600mm crs. Stopped smooth for painted finish. (Wet area ceiling 13mm Gib Aqualine)
- L03
- 10mm Gib wall linings stopped smooth for painted finish. (Wet area wall 10mm Gib Aqualine)



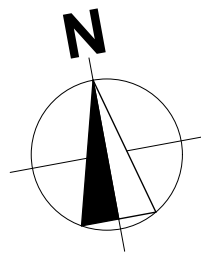
A Section A-A  
Scale 1:50



B Section B-B  
Scale 1:50



C Section C  
Scale 1:50



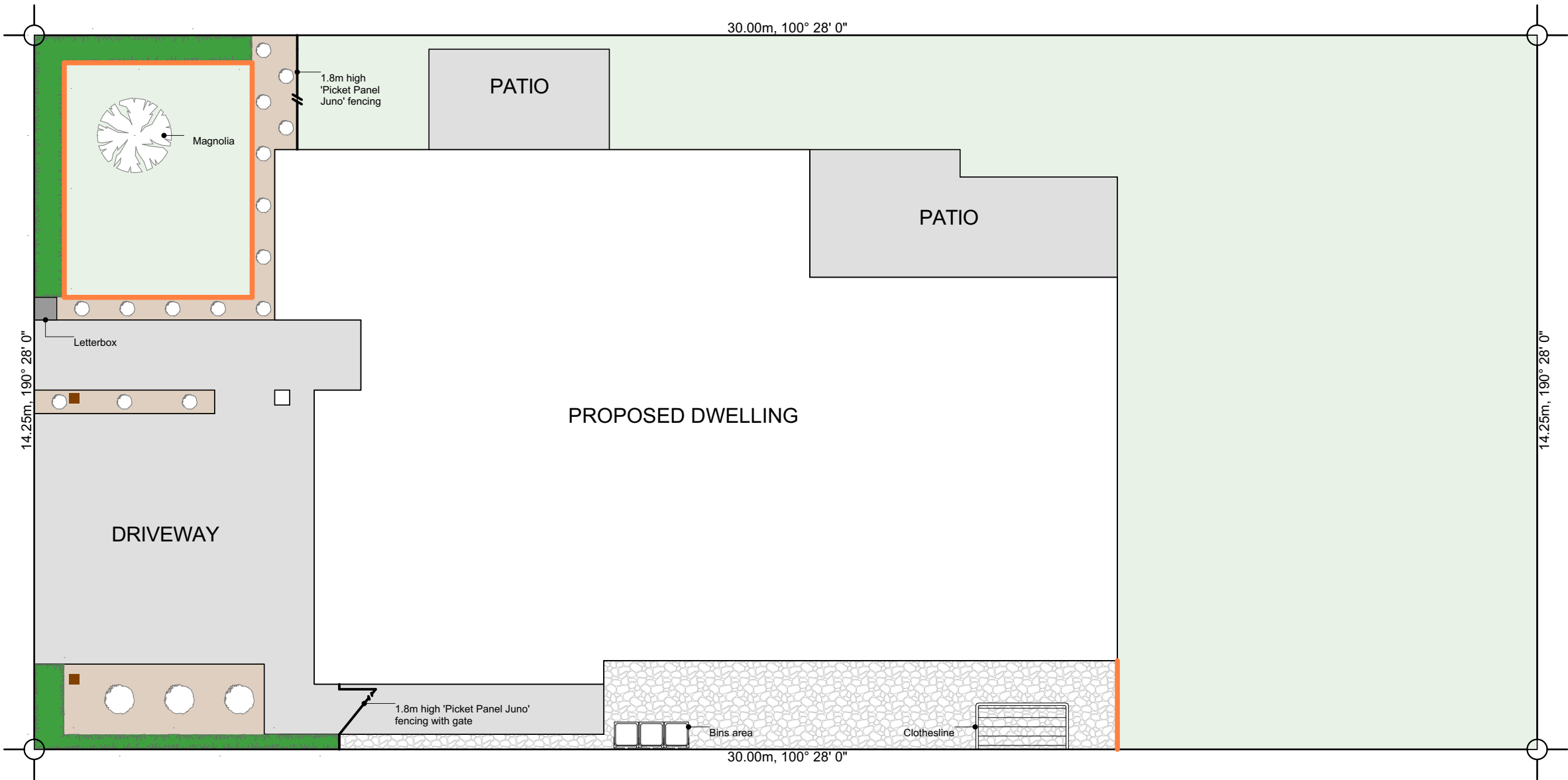
Plants List for Garden Bed

- Agapanthus Peter Pan - Dwarf blue Nile lily
- Acacia Limelight - Dwarf wattle
- Choisya Ternata - Mexican orange blossom
- Carex Secta - Makura sedge
- Lavandula angustifolia 'Hidcote' - English Lavender
- Pittosporum little gem
- Thuja occidentalis Smaragd - Emerald Cedar
- Viburnum tinus Eve Price
- Azalea
- Corokia geentys green
- Pseudowintera colorata 'Red Leopard' - Horopito/Pepper tree
- Camellia 'Cinnmon Cindy'

\*Planting species for garden bed are indicative-not to be limited to.

Legends

- Lawn
- Exposed Aggregate
- Stonechip
- Garden Bed with Bark
- Portuguese Laurel - Hedge to be a min. 800mm high at time of planting and a max of 600mm apart (stem to stem)
- Tree - within 2m of road frontage. 2.5m high (at time of planting)
- Macrocarpa posts 200x200mm with capping, supplied by Arbor Green. To be installed by Oakridge Homes. Mulseal and concrete encase posts, setback 900mm from road boundary and set off the driveway edge by 200mm
- Timber Batten Edging
- 1.8m 'Picket Panel Juno' fence in black
- Fencing



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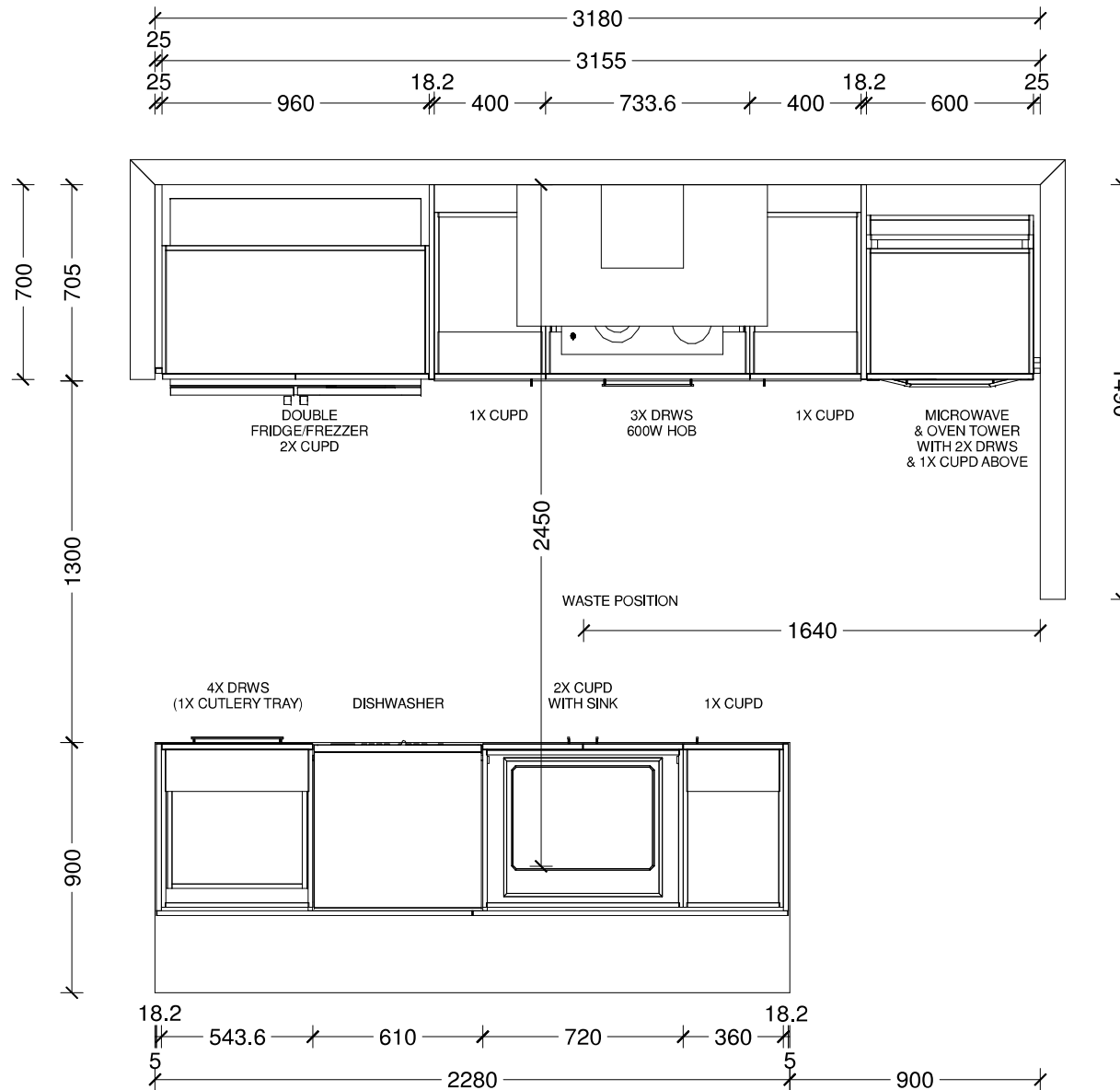
**W E N D E L B O R N**  
**P R O P E R T Y L T D**  
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**Landscape Plan**  
Scale 1:100 @ A3

Revision 1  
Date 12/06/2025  
File No. 25125

**Sheet No.**  
**1**



#### Benchtop Colour:

12mm square edge Tristone in Pure White

#### Back Wall Joinery Colour:

Bestwood Simply White Embossed

#### Island Joinery Colour:

Bestwood Subtle Grey Velvet

#### Negative Detail Joinery Colour:

Bestwood Subtle Grey Velvet

#### Handles:

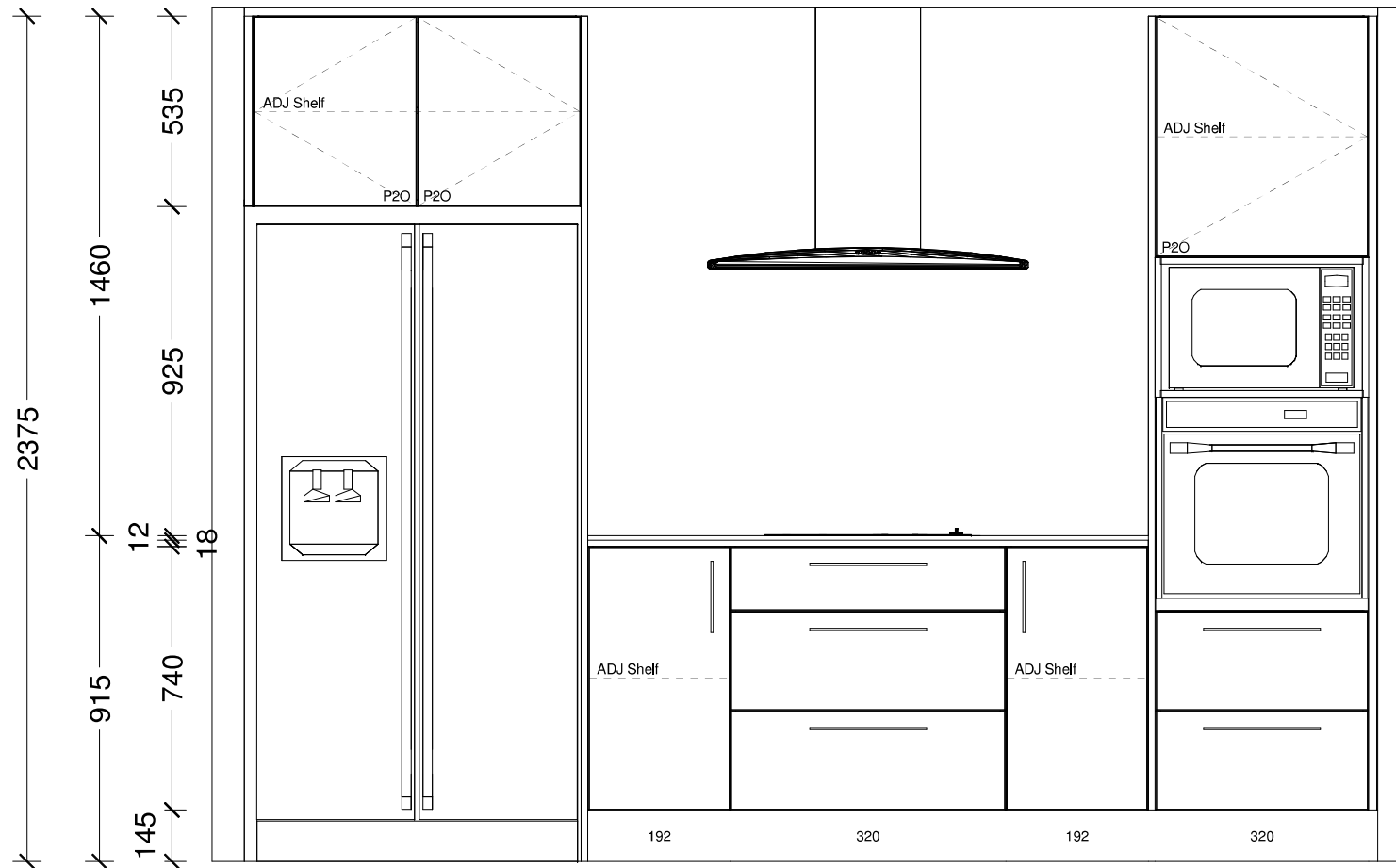
4062-192/320-Titanium Grey

#### Sink:

Lazio NZLSS-5545 Stainless Single Bowl

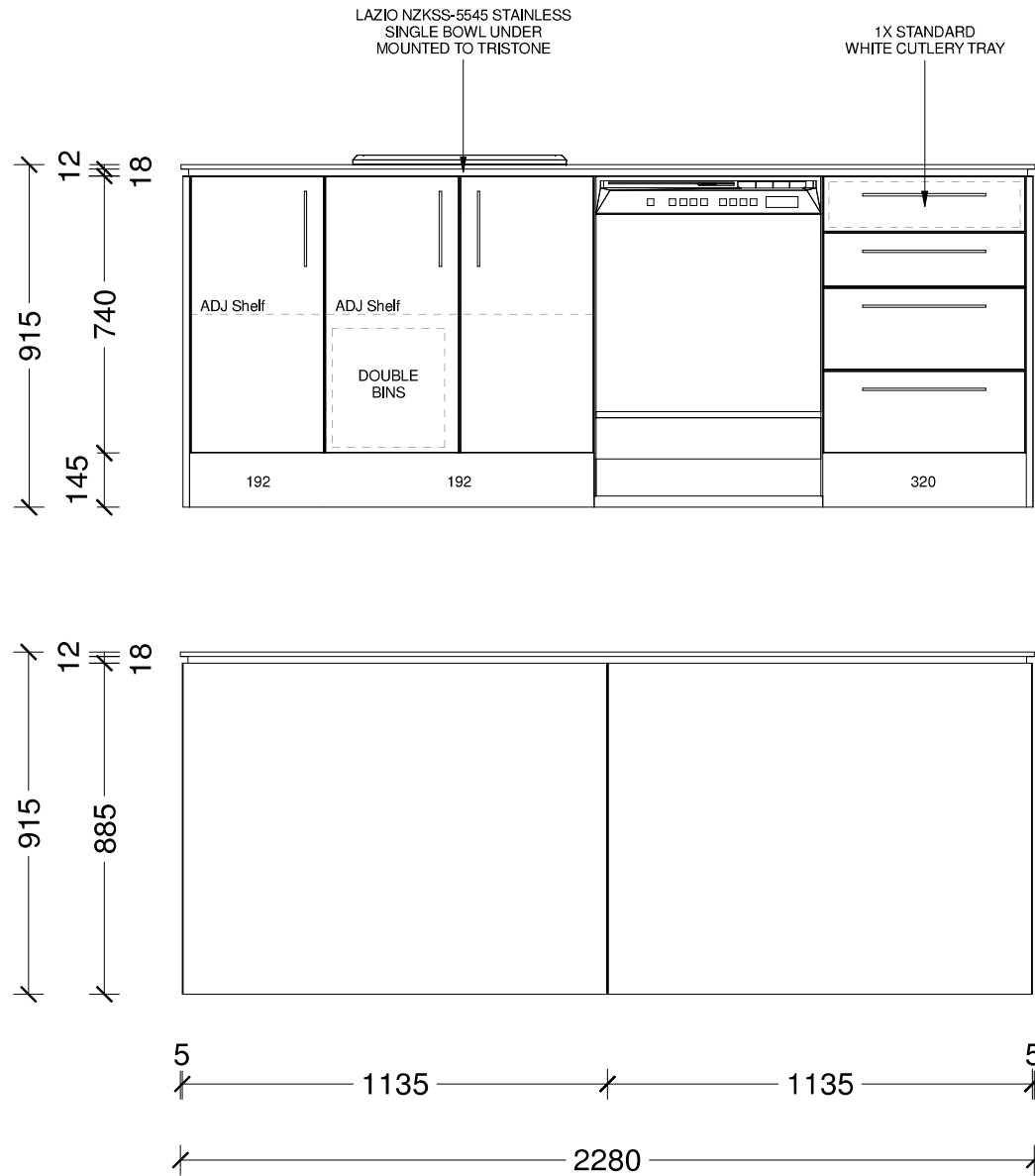
Designer: Sarah Molyneux	Date: 24 Feb 23	Client: Oakridge Homes	BC Ref: Job	Site Address:	Job#: Default	
Dwg: Kitchen Plan	Scale: 1 : 25	Customer: The Maple - Selwyn				

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.



Designer: Sarah Molyneux	Date: 24 Feb 23	Client: Oakridge Homes	BC Ref: Job	Site Address:	Job#: Default	
Dwg: Kitchen Elevation	Scale: 1 : 20	Customer: The Maple - Selwyn				

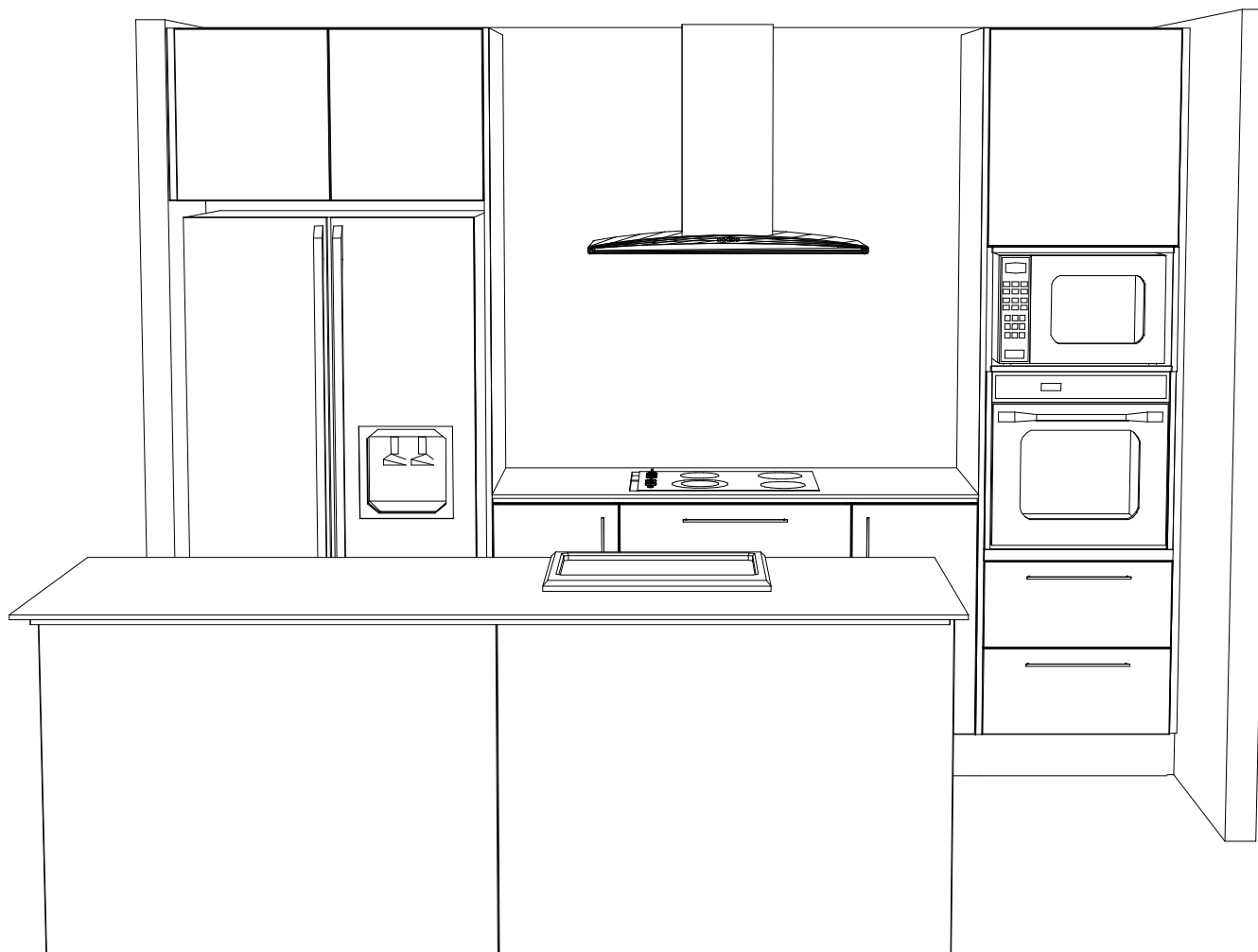
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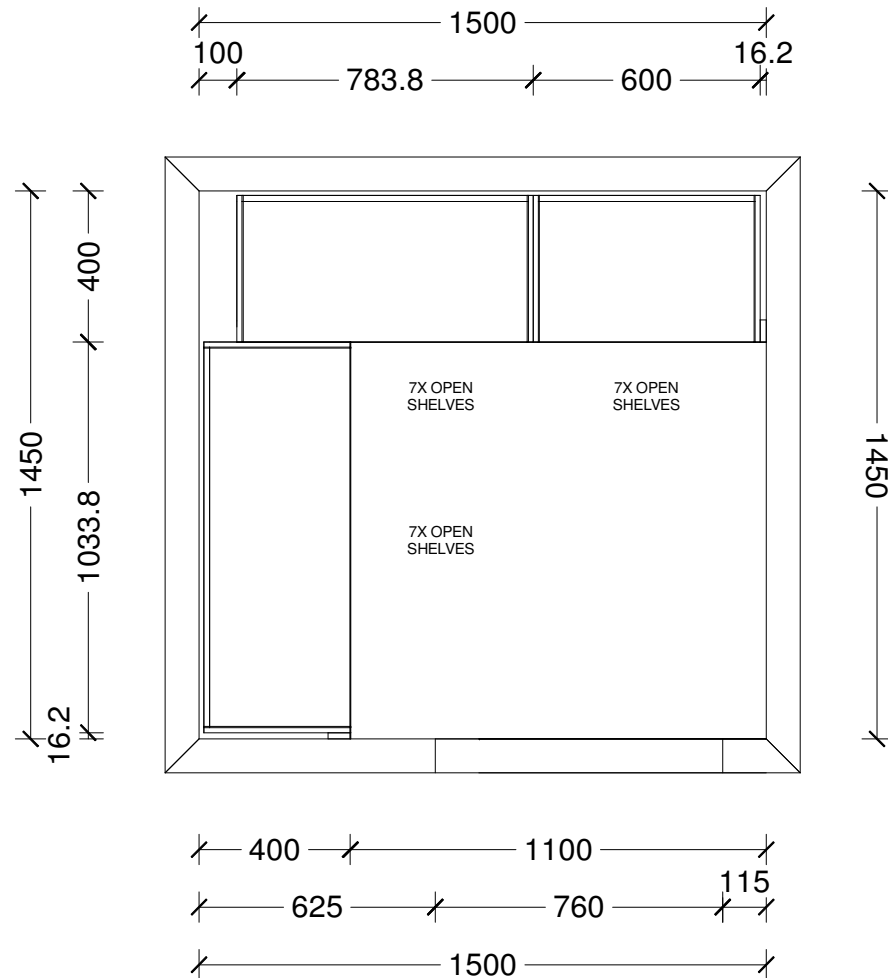
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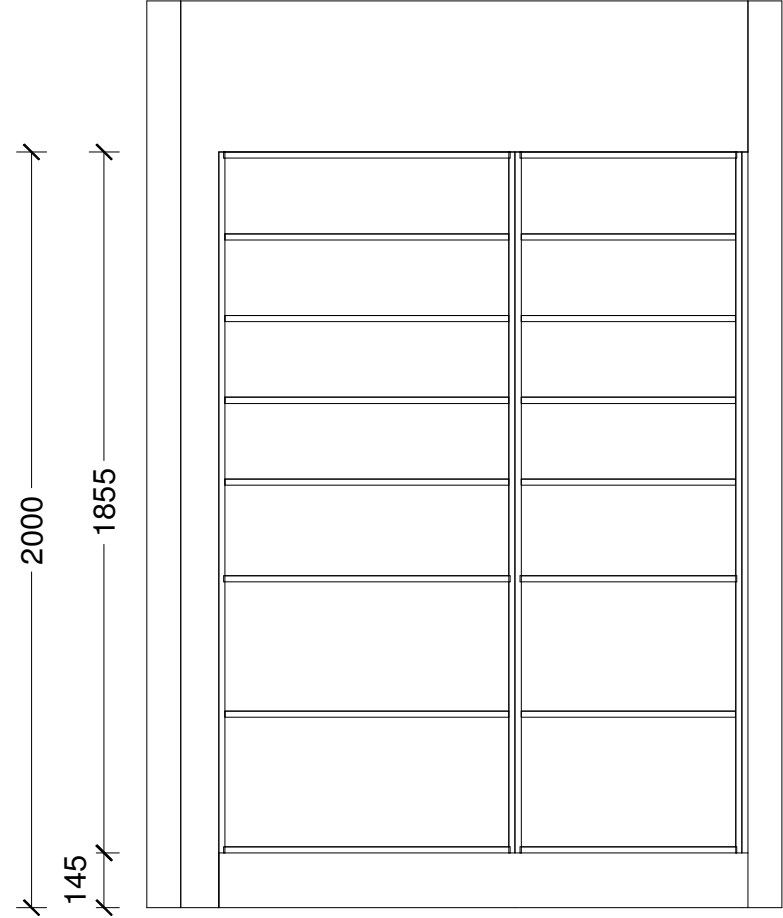
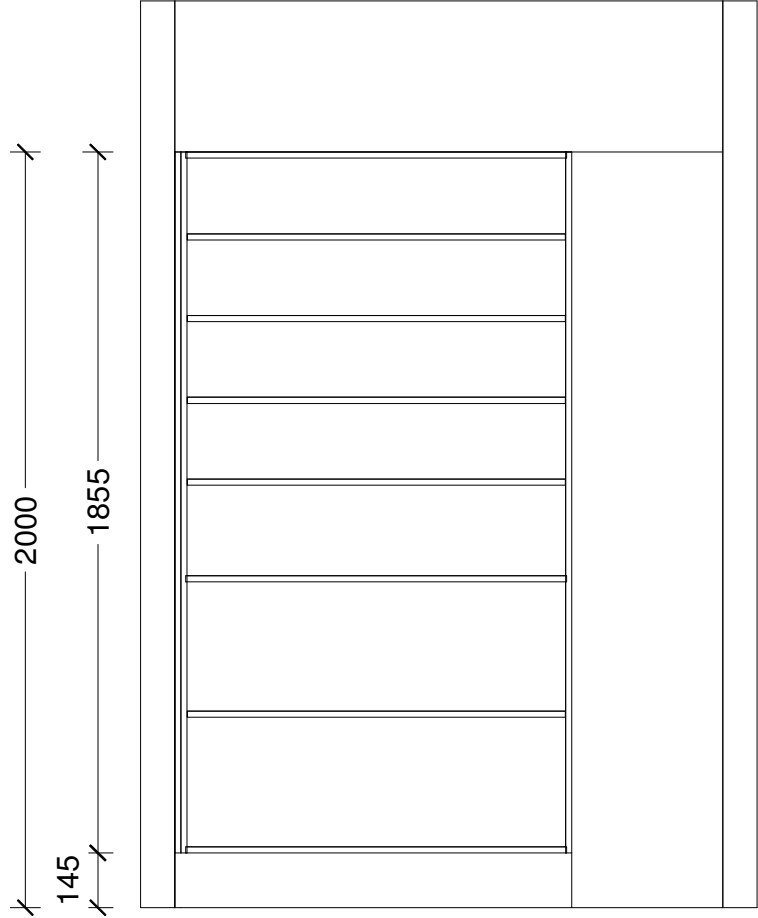
Designer: Sarah Molyneux	Date: 24 Feb 23	Client: Oakridge Homes	BC Ref: Job	Site Address:	Job#: Default	
Dwg: Kitchen 3D Perspective	Scale:	Customer: The Maple - Selwyn				

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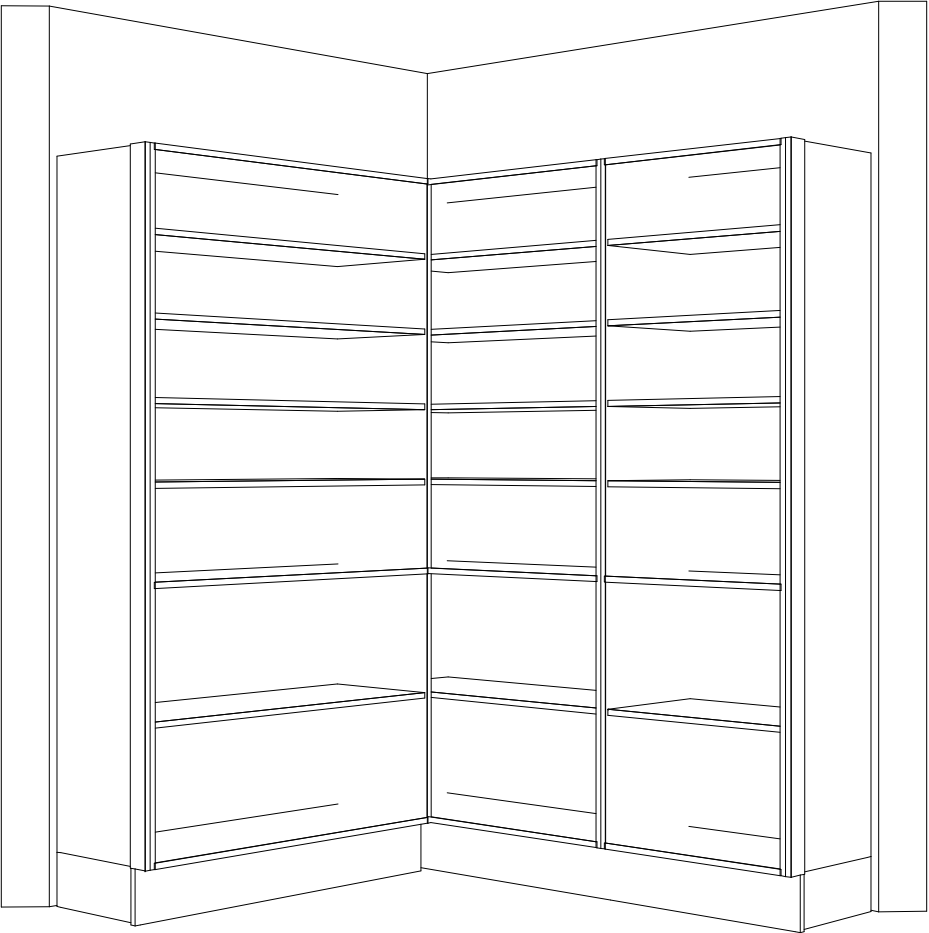


Designer: Sarah Molyneux	Date: 24 Feb 23	Client: Oakridge Homes	BC Ref: Job	Site Address:	Job#: Default	
Dwg: Pantry Plan	Scale: 1 : 20	Customer: The Maple - Pantry V2				

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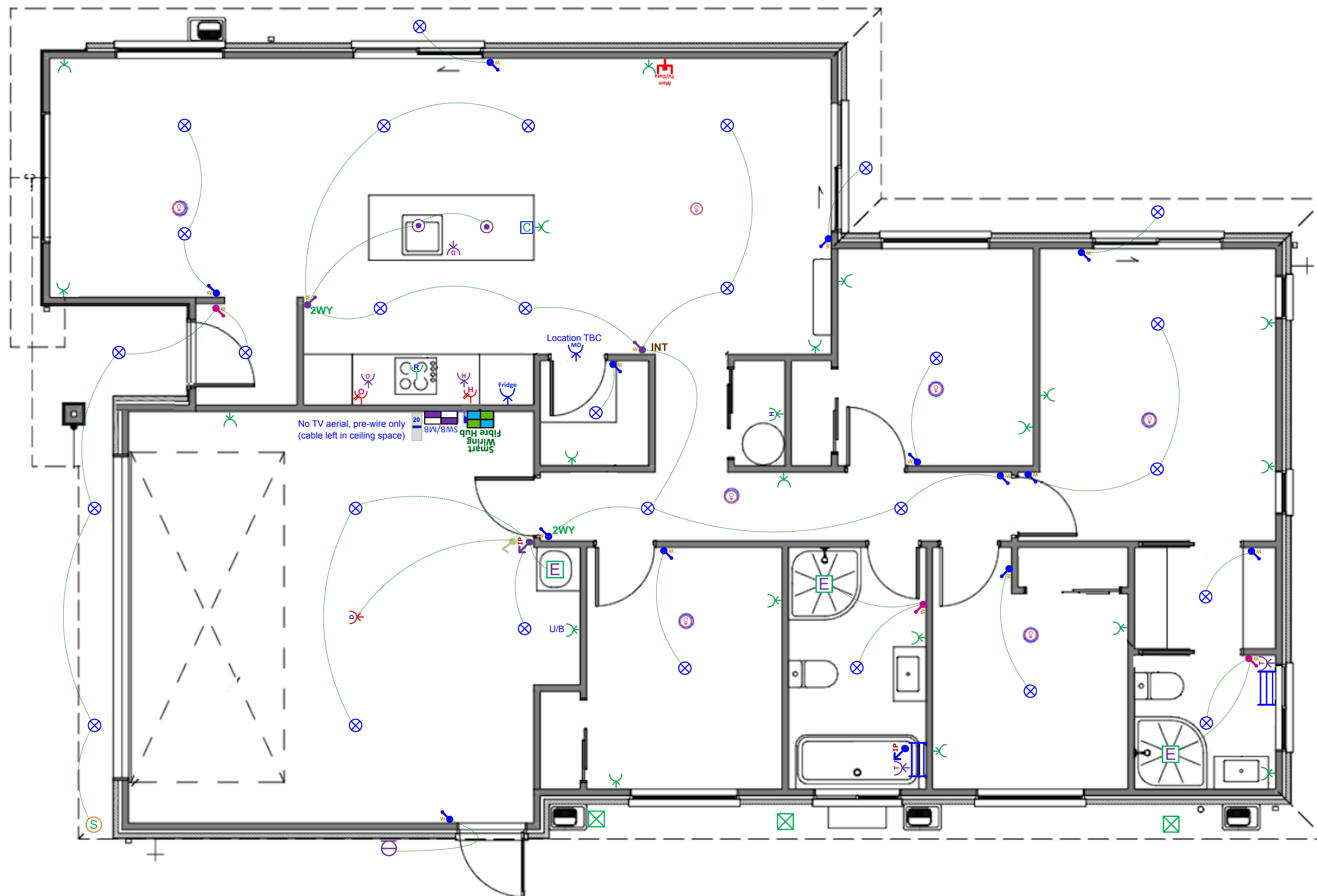


Designer: Sarah Molyneux	Date: 24 Feb 23	Client: Oakridge Homes	BC Ref: Job	Site Address:	Job#: Default	
Dwg: Pantry Elevation	Scale: 1 : 20	Customer: The Maple - Pantry V2				














Designer: Sarah Molyneux	Date: 24 Feb 23	Client: Oakridge Homes	BC Ref: Job	Site Address:	Job#: Default	
Dwg: Pantry 3D Perspective	Scale:	Customer: The Maple - Pantry V2				

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# Plan: The Maple V7 Garage Right

Electrical		
Item		Total
 Electrical Base with 34-Way Deep Combined Meter Switchboard (Single Phase)		1 EA
 Rangehood Single Switched Power Socket		1 EA
 Tradesave Slim Single Power Socket (White) 10A - Fridge		1 EA
 Tradesave Slim Single Power Socket (White) 10A - Microwave		1 EA
 Tradesave Double Power Socket Horizontal (White) 10A		20 EA
 Protective Capping for Socket Electrical in Joinery		1 EA
 Tradesave Slim Double Power Socket with Oven Isolator Switch (White) 10A		1 EA
 Tradesave Slim Double Power Socket with Hob Isolator Switch (White) 10A		1 EA
 Tradesave Built-In Oven Hard-Wired Power Connection up to 20A (max)		1 EA
 Tradesave Slim Electric Hob Hard-Wired Power Connection up to 32A (max)		1 EA
 Tradesave Slim Dishwasher Power Socket (White)		1 EA
 Tradesave Garage Door Open/Close Press Switch (White)		1 EA
 Tradesave Slim Garage Door Power Socket (White)		1 EA
 Tradesave Slim Hot Water Cylinder Hard-Wired Power Connection (White)		1 EA
 Air Conditioning Circuit 20A MCB Installation For Heat Pump Circuit		1 EA
 Orca OM866S-10RF Wireless Interconnected Smoke Detector - Photoelectric 10-year battery life		7 EA
 Newtech ST65 Towel Rail 5-Bar Square Ladder 530 x 600mm (Chrome) - Excludes Circuit & Installation		2 EA
 Tradesave Slim Heated Towel Rail Circuit & Installation (Excludes supply of Towel Rail)		2 EA
 Extractor Fan Inline 150mm with up to 6m of Duct		3 EA
 Extractor Fan External Grille (White)		3 EA
 External 180° Infrared Movement Surface Mounted Sensor Up to 12M Range, Adjustable10sec - 15min time delay (White)		1 EA
 Recessed Downlight Prolux DL54 LED 10-Watt 160° Beam (Switchable 3K-4K-6K) White Fascia & Circuit		29 EA

## Electrical

Item	Total
 Staverton Black 1L 365mm Pendant Light, LED Lamp & Circuit	2 EA
 Bulkhead Wall Light Robus Ohio LED 12W IP54 Oval Bulkhead c/w White & Black Trims & Circuit	1 EA
 Tradesave Slim Light Switch 1-Gang (White)	13 EA
 Tradesave Slim Light Switch 2-Gang (White)	3 EA
 Tradesave Slim Light Switch 3-Gang (White)	2 EA
 Excel Life White IP Rated Light Switch 1 Gang	1 EA
 Excel Life White IP Rated Light Switch 3 Gang	1 EA
 2-Way Light Circuit	2 EA
 Tradesave Slim 3-way Intermediate Switching Light Circuit	1 EA
 Smart Wiring Base 20" Hub 12 Port with Fibre Optic Pathway and Power Circuit	1 EA
 Tradesave Slim Main UHF TV/Data Network Socket (Cat6) - White	1 EA