



House and Land Package

Lot 248 Beachgrove, Kaiapoi,
North Canterbury

Dwelling
Size

121m²

Section
Size

412m²

\$717,900



3



1



2



1



Family sized home featuring three bedrooms, master with ensuite and walk-in robe, open plan kitchen living and dining, family bathroom and internal access garaging. Well appointed for the sun on a fully landscaped section, offering quality fixtures and fittings throughout.

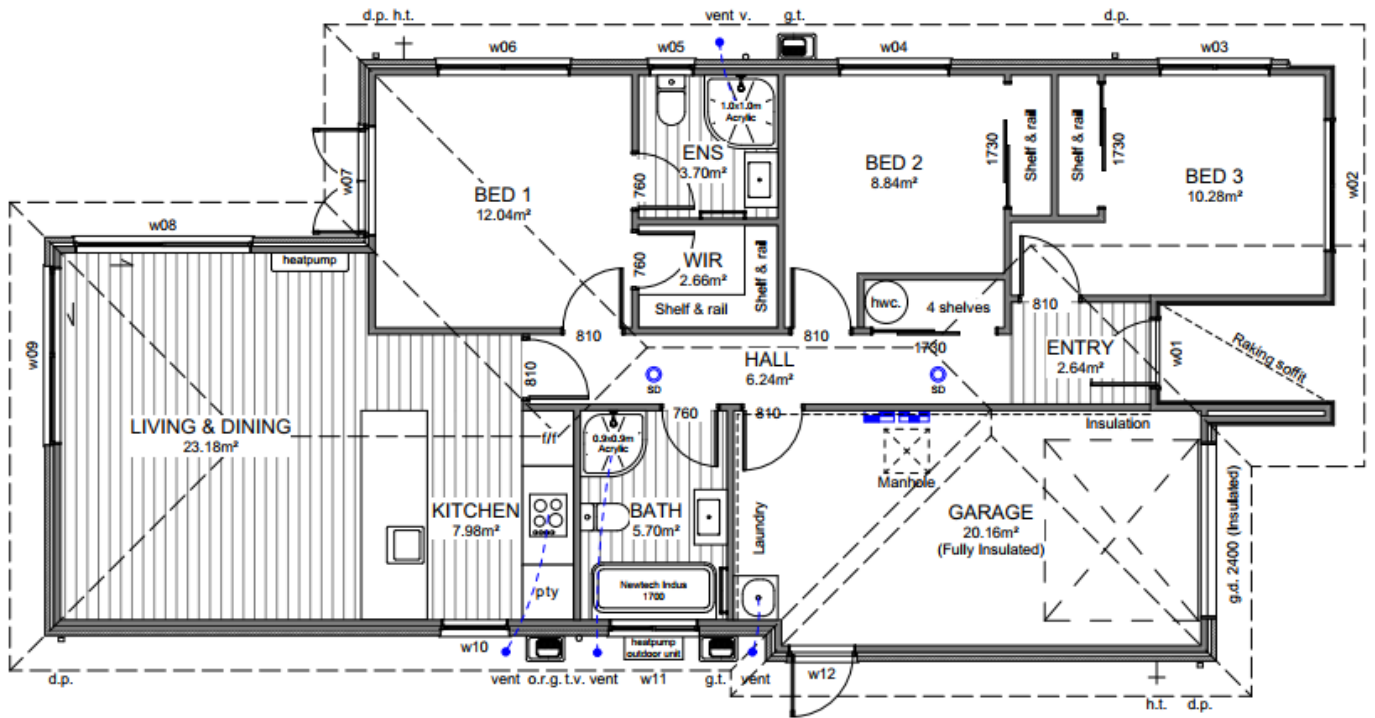
Within thirty minutes drive to Christchurch City Beachgrove is conveniently located within walking distance of the vibrant Kaiapoi town centre where you will find various retail outlets, cafes, restaurants, supermarkets, weekly farmers market and a movie theatre. There is a high school, primary schools and day care centres all within close proximity.

With Pines Beach recreational areas on your door step it makes Beachgrove an appealing community for all.





Floor Layout:



Site Location:



Disclaimer: For the use of illustrative purposes only. Oakridge Homes Limited accept no liability for any discrepancies which may become apparent once construction commences.





Beach Grove

13 McGarry Drive, Kaiapoi

Having a Showhome as an investment property can be very beneficial for many reasons, see our FAQ's below:

How long is the Showhome lease period?

A lease will be entered into for a period of 12 months with a right to renew another 6-12 month period

What will the weekly rental income be?

Oakridge Homes will rent back the property for \$600 per week

When will I start receiving rental income?

Oakridge Homes will commence rental payments on Settlement, no untenanted period after completion

What benefits are there to having an investment property leased as a Showhome?

No requirement for a property manager

No maintenance requirements or wear and tear

Free professional photos and video walkthroughs





Specification





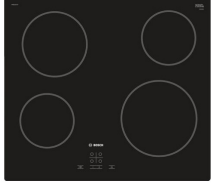




Lot 248 Beachgrove, Kaiapoi, North Canterbury

General:			
Guarantee:	10 year Masterbuild	Insurance:	Builders All Risk
Warranty:	365 day from settlement	Utilities:	Sewer pump chamber
Dwelling Exterior:			
Foundation:	TC2 RibRaft	Framing / trusses:	2.42m NZ5S 3602:2003 with building wrap / kiln dried pine
Roofing:	25° metal pressed tile— corona shake	Fascia and gutter:	Dimond metal fascia and quad gutter
Downpipes:	Colorsteel 75x55 rectangular	Main cladding:	The Brickery 70 Series—Brick
Feature cladding:	TMT Taiga	Entry door:	Thermally-broken APL 860mm Latitude with urbo lever
Window joinery:	Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames	Garage door:	Insulated Coloursteel flat panel wood-grain 2.4m
Dwelling Interior:			
Insulation:	As per Building Code—Including entire garage envelope, internal & external walls	Plasterboard:	Plasterboard - 10mm to walls, wet area to bathrooms and 13mm to ceilings
Gib stopping:	Grade 4 paint finish in accordance with AS/NZ 2311:2009	External corners:	Square stop
Hinged doors:	1980mm Straten (horizontal V groove polycore—2 line)	Wardrobe sliders:	2200mm Horizontal V groove
Wardrobe shelving:	MDF shelf and rail	Cupboard shelving:	MDF shelves x4
Door hardware:	Windsor Futura – Apex brushed nickel	Skirting board:	60mm bevel
Electrical:	As per plan	Heatpump:	As per Healthy Home Standards
Extractor:	Inline extractor fan	Hot water cylinder:	Rheem 250L
Carpet	Belgotex Urban Twist	Vinyl plank:	Belgotex Luxury Plank—Province
Splashback tiles:	100x300mm subway tile (Kitchen only)	Window coverings:	Windoware Austro roller blinds—Slate Excluding garage and bathrooms
Landscaping:			
Driveway and patio:	Exposed aggregate—sealed	Vehicle crossing:	Included
Soft landscaping:	As per landscape plan	Fencing:	Boundary fencing as per developers requirements to all boundaries. Internal fencing including one gate.



Specification











Lot 248 Beachgrove, Kaiapoi, North Canterbury

Kitchen and Laundry:			
Kitchen, bench surface and splashback:	Custom made Melteca or Bestwood finished cabinetry. TriStone 12mm benchtop on negative detail. Tiled splashback full length of back bench/wall. *Refer to plans and colour scheme	Kitchen sink:	Lazio NZLSS-5545 single stainless steel sink 
Kitchen tapware:	Adesso Urban— Brushed nickel 	Kitchen handles:	Stefano Orlati 4062— Titanium 
Oven:	Bosch HBF133BSOA 	Ceramic cooktop:	Bosch PKE611K17A 
Rangehood:	Bosch DWB97DM50A 	Dishwasher:	Bosch SMU05D05AU 
Laundry tub:	Raymor 560x560 laundry tub 	Feature pendant: *dependent on supply, similar fitting to be used if unavailable	Staverton 1L—black 



Specification

Lot 248 Beachgrove, Kaiapoi, North Canterbury

Bathrooms:			
Vanities:	Raymor Armada 750mm 	Mirrors:	Polished edge direct fix—1000x750mm 
Showers:	Arena curved with moulded wall 	Toilets:	Elementi Uno with soft close seat 
Bath:	Newtech Indus back-to-wall 1700mm 	Towel rails:	Newtech 5 bar square—heated 
Basin mixers:	Paffoni BLU071 	Shower / bath mixers:	Paffoni BLU010LUG CP 
Shower slides:	Paffoni Brio 3F ZSAL194CR 	Bath spout:	Paffoni Stick ZBOC041 

Colour Scheme

Lot 248 Beachgrove, Kaiapoi, North Canterbury

Exterior:		Interior:	
Roof:	Obsidian	Ceilings:	Resene half black white
Fascia / Gutter / Downpipes:	Ebony	Walls:	Resene black white
Window joinery:	Ebony	Interior doors:	Resene black white
Front door:	Ebony	Skirting:	Resene black white
Front door frame:	Ebony	Carpet:	Iron
Garage door:	Ebony	Vinyl plank:	Natural
Garage door frame:	Ebony	Kitchen cabinetry:	Simply white
Soffits:	Resene half black white	Feature kitchen/ negative detail:	Subtle grey velvet
Exterior cladding (Main):	Crevole with white mortar	Kitchen benchtop:	TriStone 12mm – Pure white
Exterior cladding (Feature):	Wood-X Goldrush	Kitchen splashback:	White gloss with misty grey grout

Exterior:

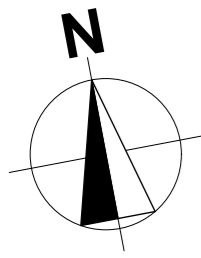


Interior:



Kitchen:





General Notes

All dimensions shown are to *face of foundation* unless noted otherwise.

Refer to Foundation Plan for foundation setout.

Refer to Drainage Plan for specific drainage info.

Refer to Sediment Control in Specification & implement where required.

All sealed driveway and patio areas to be min. 1:100 fall away from building.

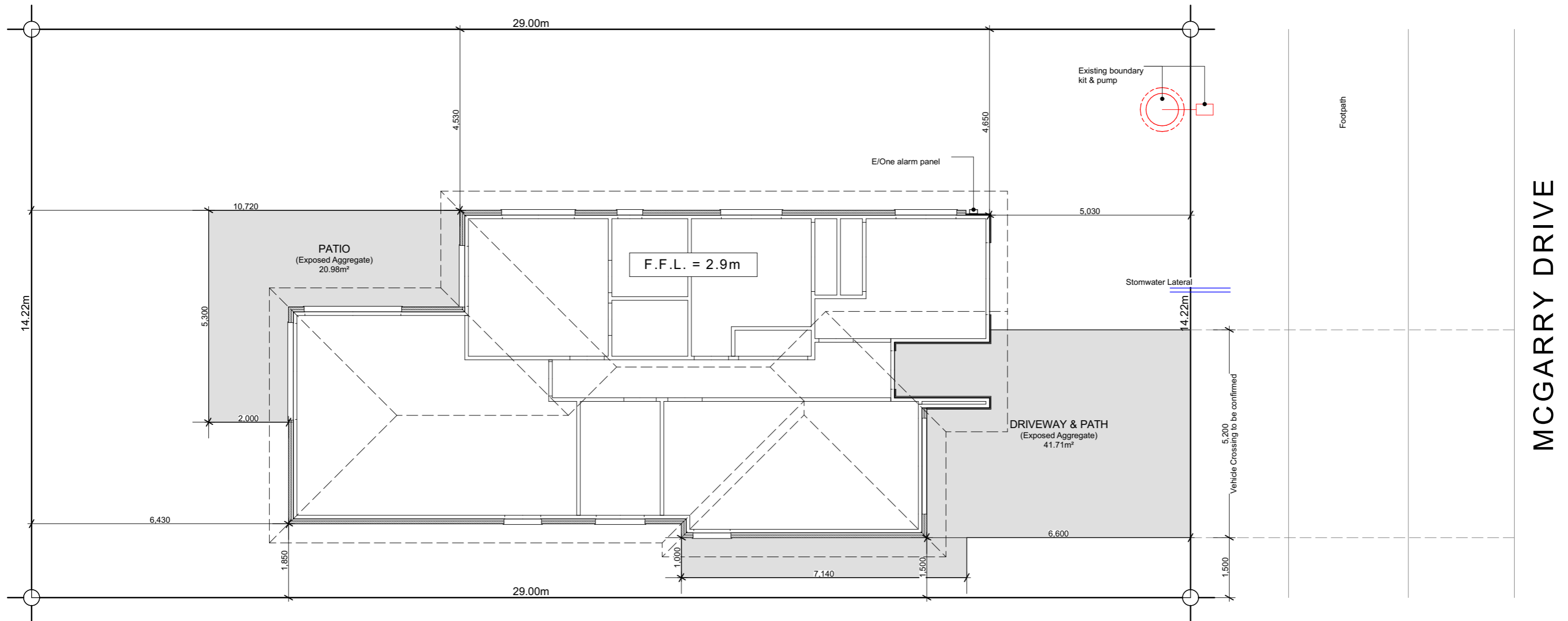
Site boundaries, bearings and north point subject to final title plan.

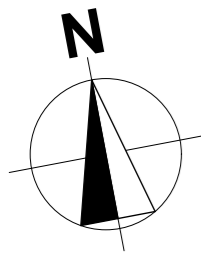
Site Info

Site Address	McGarry Drive Beachgrove, Kaiapoi
Legal Description	Lot 248
Site Area	412m ²
Building Area	158.47m ²
Site Coverage	38.46%

Design Basis

Wind Zone	High
Earthquake Zone	2
Snow Zone	N4 < 100m
Exposure Zone	C





Building Area

Over Frame	116.07m ²
Perimeter	55.50m
Over Cladding	121.80m ²
Perimeter	56.30m
Roof Area*	158.47m ²
Perimeter	56.26m




*Roof area includes fascia & gutter.

General

Main Cladding	70s Clay Brick
Feature Cladding	TMT Taiga Shiplap WB
Roof Pitch	25°
Roofing	Pressed Metal Tiles (Corona Shake)
Stud Height	2.42m
Interior Door	1.98m high
Wardrobe Door	2.20m high
Cooktop	Ceramic Cooktop

Note: Kitchen layout indicative only, refer to Kitchen Design for details.

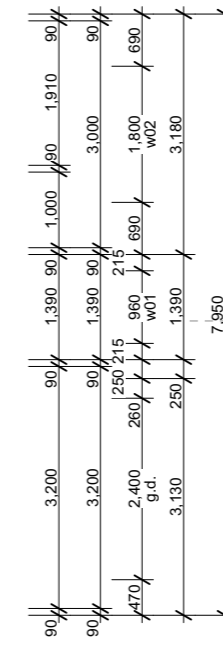
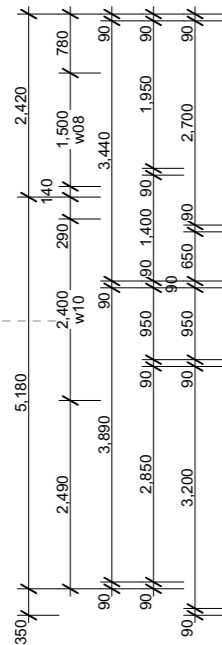
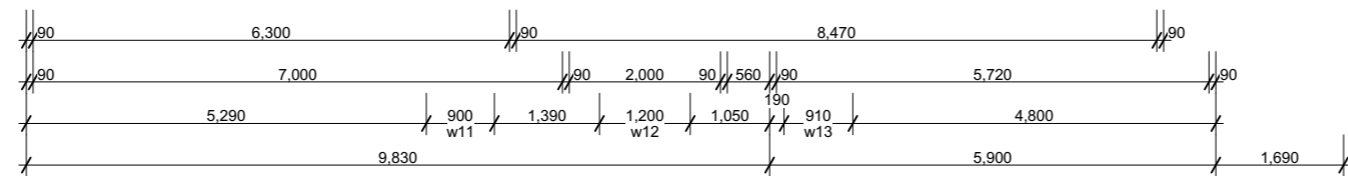
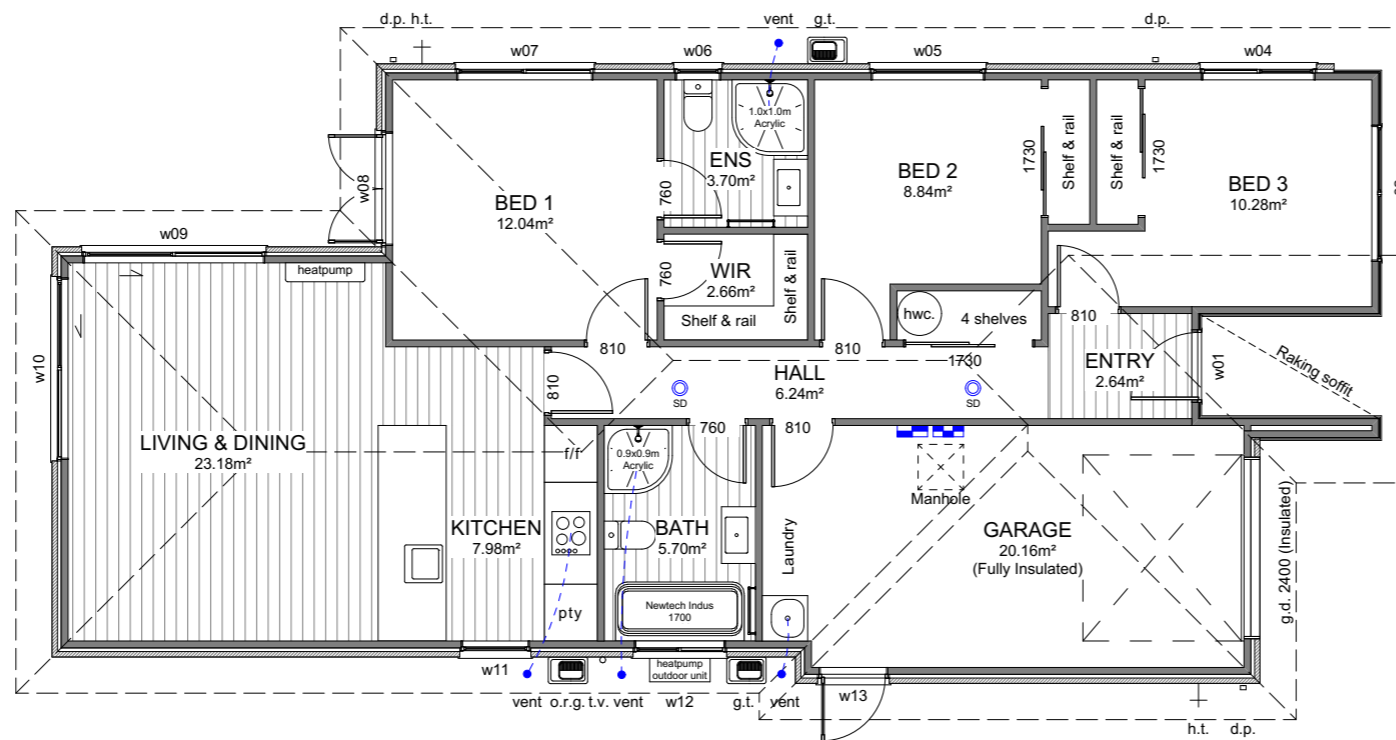
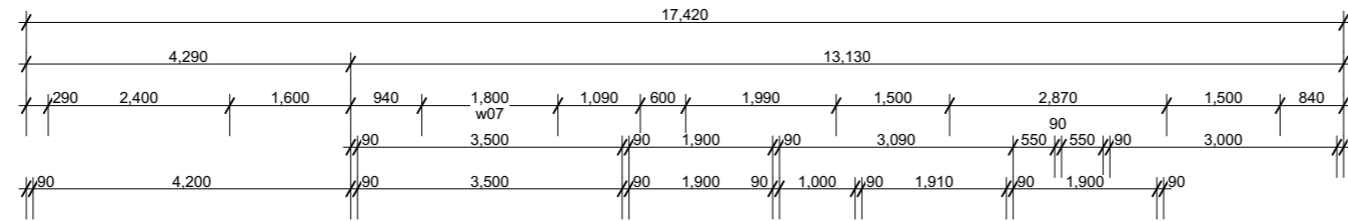
Legend

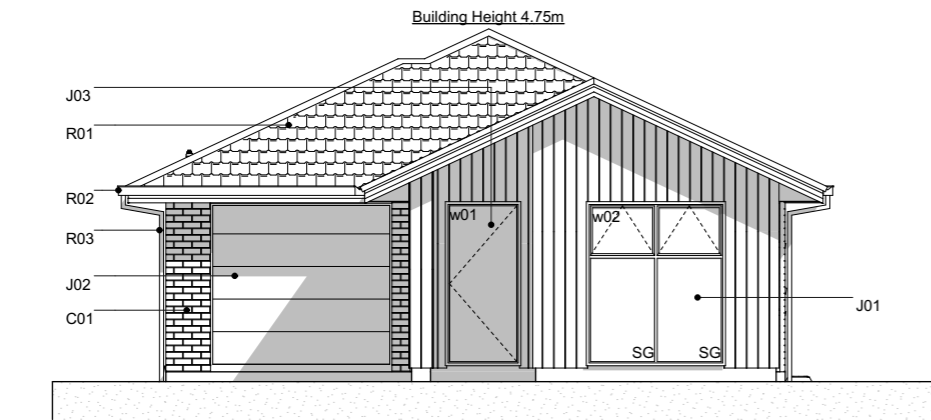
-  Distribution Board and Smart Meter Box
-  Data Box
-  Smoke Detector with test and hush buttons to comply with NZBC F7/AS1

Floor Covering

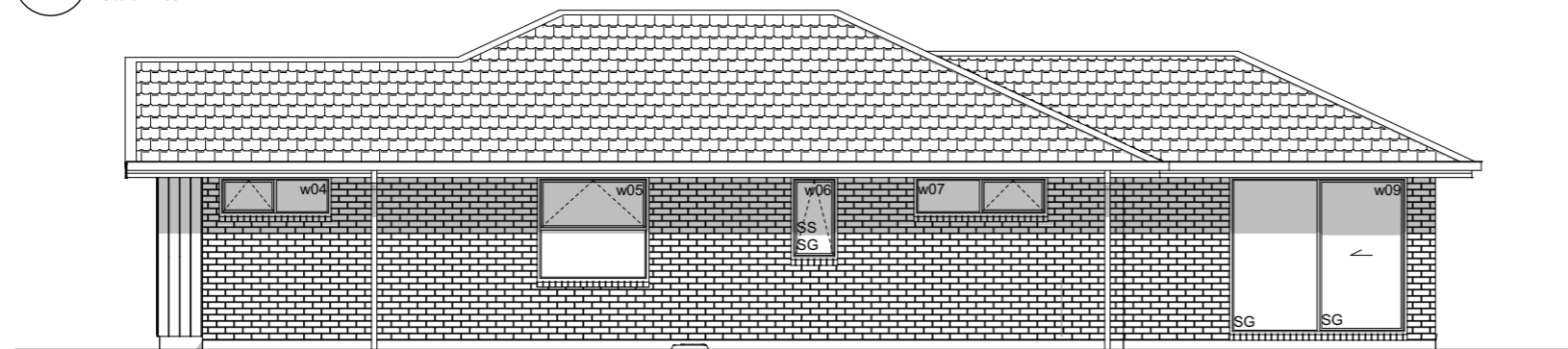
-  Carpet (excl. Garage)
-  Vinyl Planks

WINDOW SCHEDULE		
ID	H	W
w01	2,130	960
w02	2,130	1,800
w04	500	1,500
w05	1,400	1,500
w06	1,100	600
w07	500	1,800
w08	2,130	1,500
w09	2,130	2,400
w10	2,130	2,400
w11	2,130	900
w12	1,100	1,200
w13	2,130	910

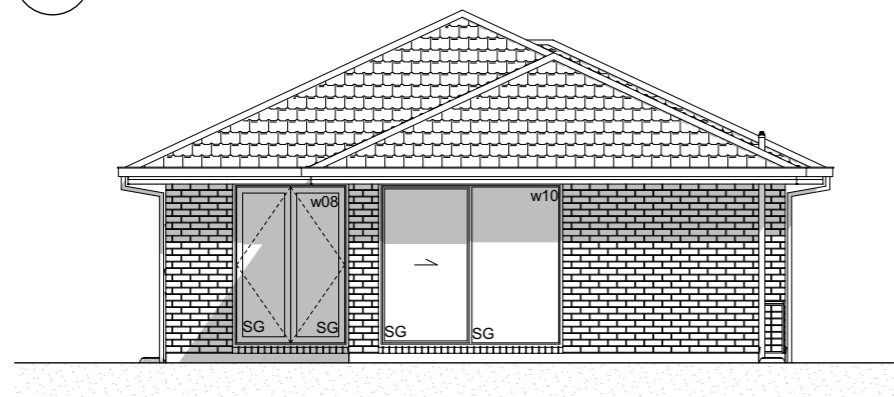




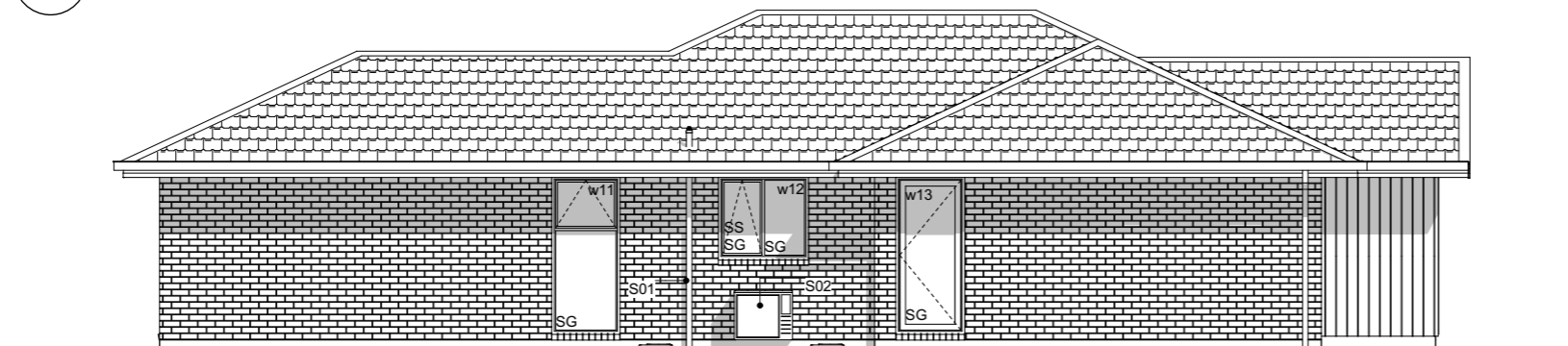
E-01 East Elevation
Scale 1:100



E-02 North Elevation
Scale 1:100



E-03 West Elevation
Scale 1:100



E-04 South Elevation
Scale 1:100

Elevation Keys

- C01 70 series clay brick on 50mm cavity.
- C02 TMT Taiga shiplap weatherboard on 20mm horizontal castellated cavity battens.
- R01 Pressed metal tiles roofing.
- R02 Colorsteel Quad gutter supported by Colorsteel 185mm fascia.
- R03 Colorsteel 75x55mm downpipes.
- J01 Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames.
- J02 Sectional garage door.
- J03 APL entry door in thermally-broken powder coated aluminium frames
- S01 Drainage vent pipe.
- S02 Heatpump outdoor unit on wall bracket.

Legend

- w01 Window ID
- SS Security Stay
- SG Safety Glass

General Notes

Driveway to fall from 20mm max. below garage rebate.



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**W E N D E L B O R N
P R O P E R T Y L T D**
LOT 248 BEACHGROVE
MCGARRY DRIVE KAIAPOI

Issue
Concept Design

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Elevations

Scale 1:100 @ A3

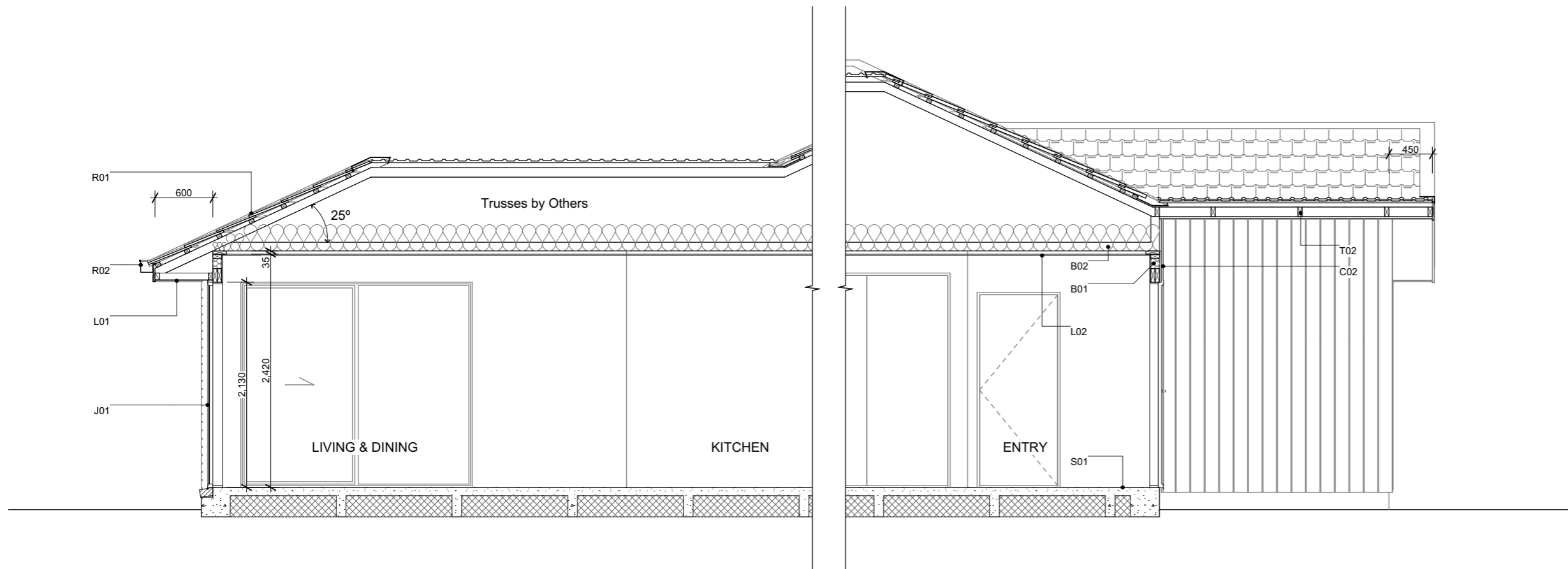
Revision 2
Date 18/10/2023
File No. 23115

Sheet No.

3

Section Keys

- C01 70 series brick on 50mm cavity over building wrap on timber framing.
- C02 TMT Taiga shiplap weatherboard on 20mm horizontal castellated cavity battens over building wrap on timber framing.
- W01 External walls 90x45mm studs @ 600mm crs, dwangs @ 800mm crs (TMT Taiga Dwangs @ 480mm crs). Top plates 90x45 + 140x35mm.
- W02 Internal walls 90x45mm studs @ 600mm crs, dwangs @ 800mm crs.
- S01 SED Ribraft Foundation.
- T01 Roof trusses as per Truss Design.
- T02 Extended truss top chord/ outriggers to form raking soffit.
- R01 Pressed metal tiles roofing on 50x40mm timber battens over self-supported roof underlay on trusses.
- R02 Colorsteel Quad gutter on 185mm Colorsteel fascia.
- R03 75x55mm Colorsteel downpipes with wall brackets.
- J01 Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames. H3.1 timber reveals for painted finish.
- J02 Sectional garage door. H3.1 timber reveals for painted finish.
- B01 R2.8 wall insulation batts.
- B02 R7.0 ceiling insulation batts. Compressed insulation to fit at the first 500mm from the top plate as per manufacturer's instruction. Insulation baffle required to allow for the 25mm ventilation
- L01 4.5mm Hardie soffit linings for painted finish.
- L02 13mm Gib ceiling linings supported by 35mm Rondo ceiling battens @ 600mm crs. Stopped smooth for painted finish. (Wet area ceiling 13mm Gib Aqualine)
- L03 10mm Gib wall linings stopped smooth for painted finish. (Wet area wall 10mm Gib Aqualine)



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W E N D E L B O R N
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 MCGARRY DRIVE KAIAPOI

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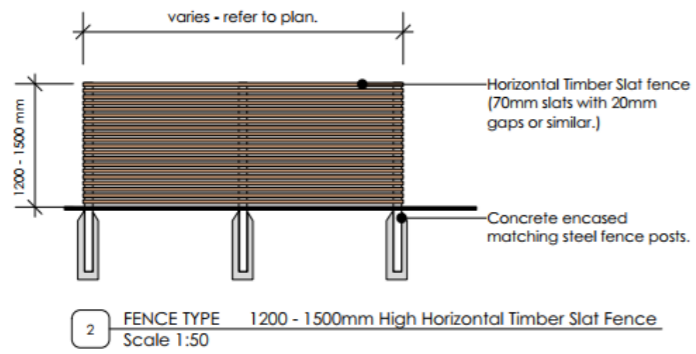
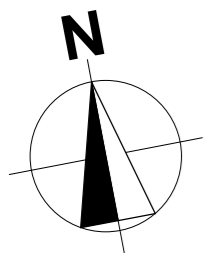
Section A-A

Scale 1:50 @ A3





Revision 2
 Date 18/10/2023
 File No. 23115

Sheet No.

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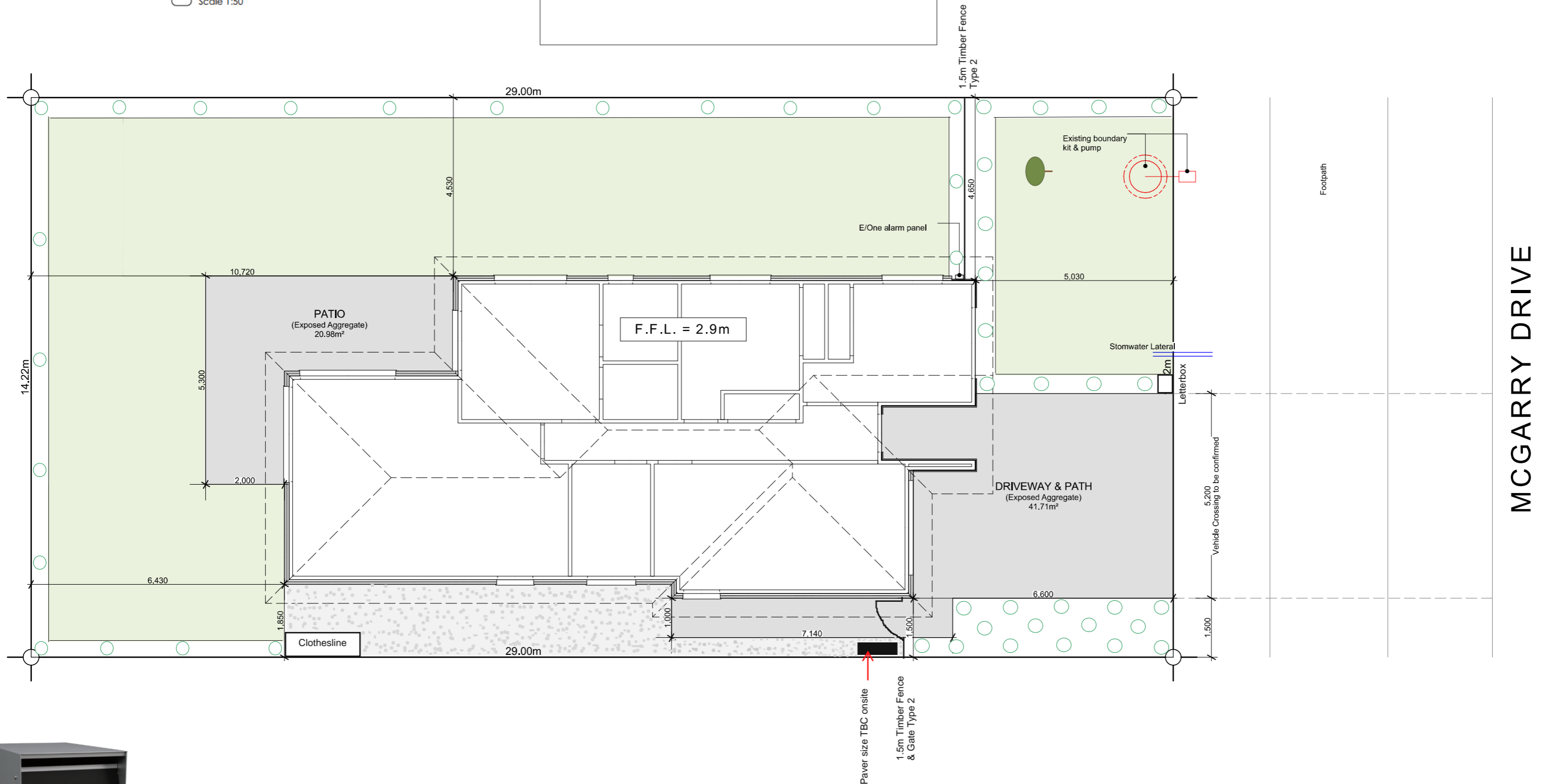
Legend

-  Grass
-  Stonechip
-  Garden bed with bark
-  Feature tree

Site Specific Notes

Road boundary fence maximum 1.2m high and 1.8m maximum for other boundaries.

Visibility Splays measuring 2m along road boundary to a length of 2.5m along internal boundary. Keep clear of obstructions within the visibility splays areas. Landscaping or any other features within the visibility splays areas shall not exceed 0.5m in height.



W E N D E L B O R N
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 LOT 248 BEACHGROVE
 MCGARRY DRIVE KAIAPOI

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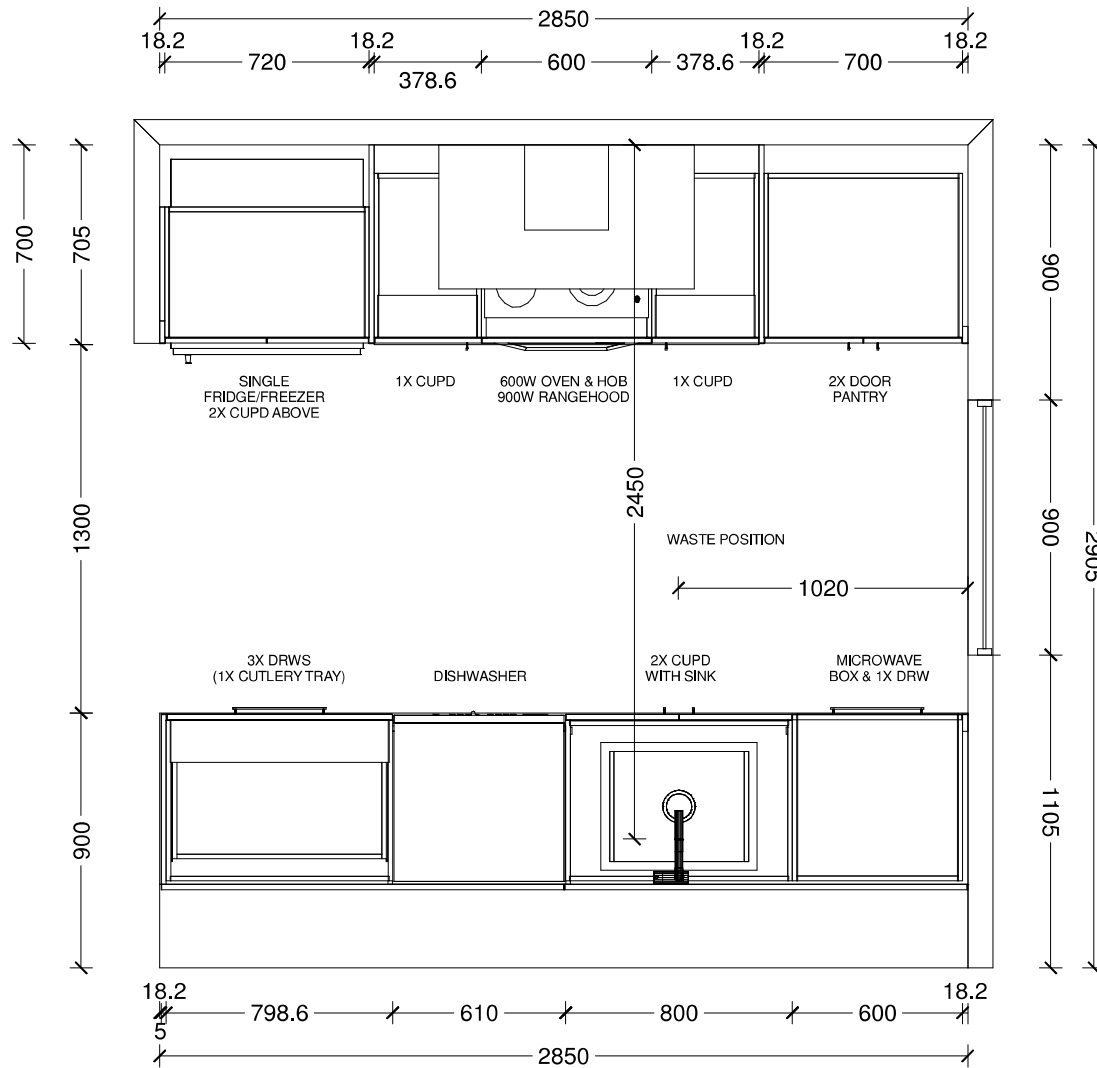
Landscape Plan

Scale 1:100 @ A3

Revision 2
 Date 18/10/2023
 File No. 23115

Sheet No.

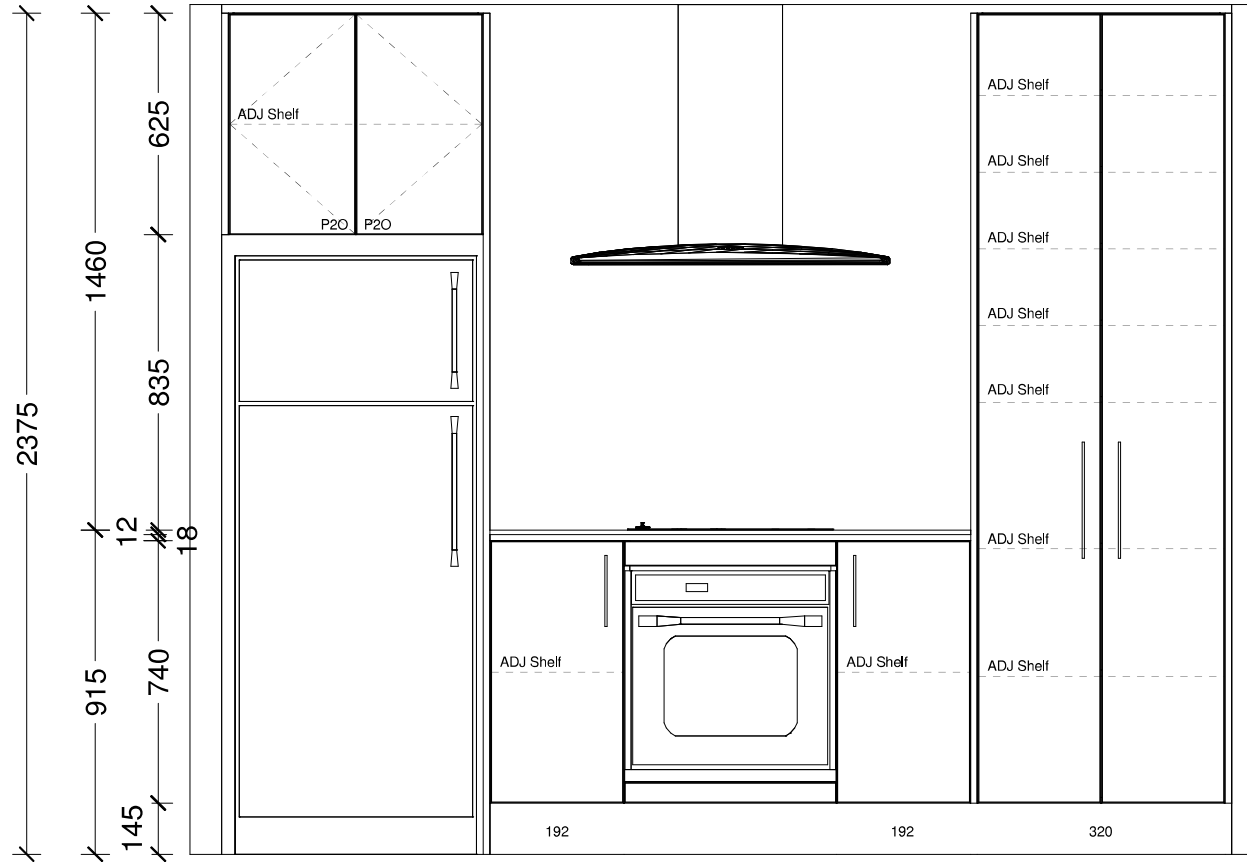
1



Benchtop Colour:	12mm square edge Tristone in Pure White
Back Wall Joinery Colour:	Bestwood Simply White Embossed
Island Joinery Colour:	Bestwood Subtle Grey Velvet
Negative Detail Joinery Colour:	Bestwood Subtle Grey Velvet
Handles:	4062-192/320-Titanium Grey
Sink:	Lazio NZLSS-5545 Stainless Single Bowl

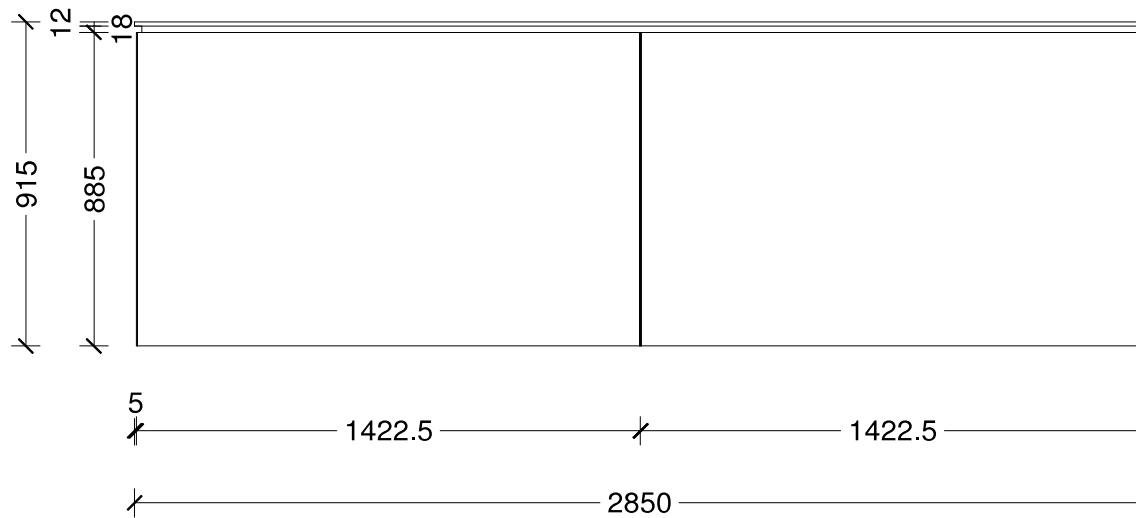
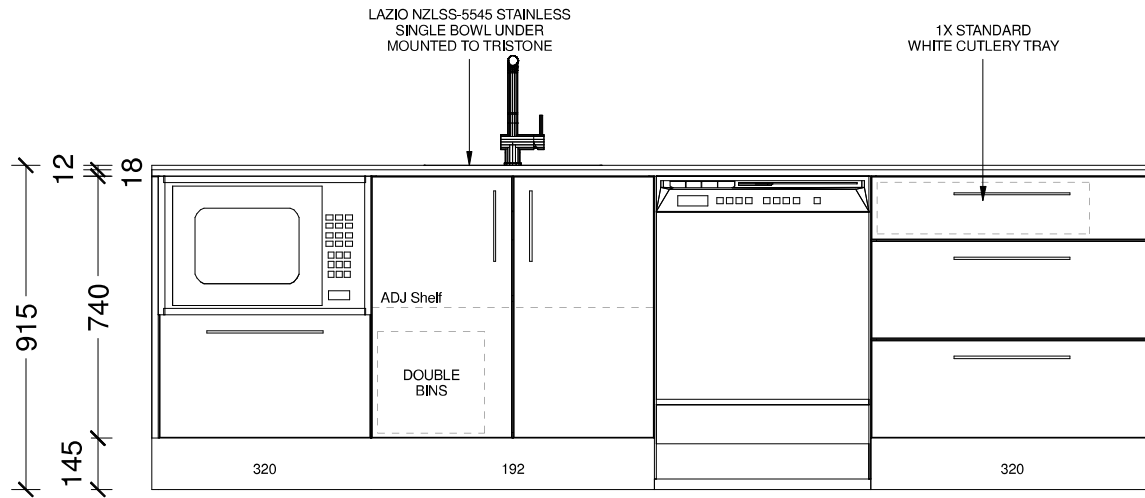
Designer: Sarah Molyneux	Date: 04 Dec 23	Client: Oakridge Homes	BC Ref: Job	Site Address: Lot 248 Beachgrove	Job#: 54614	
Dwg: Kitchen Plan	Scale: 1 : 25	Customer: WPL - Showhome				

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.



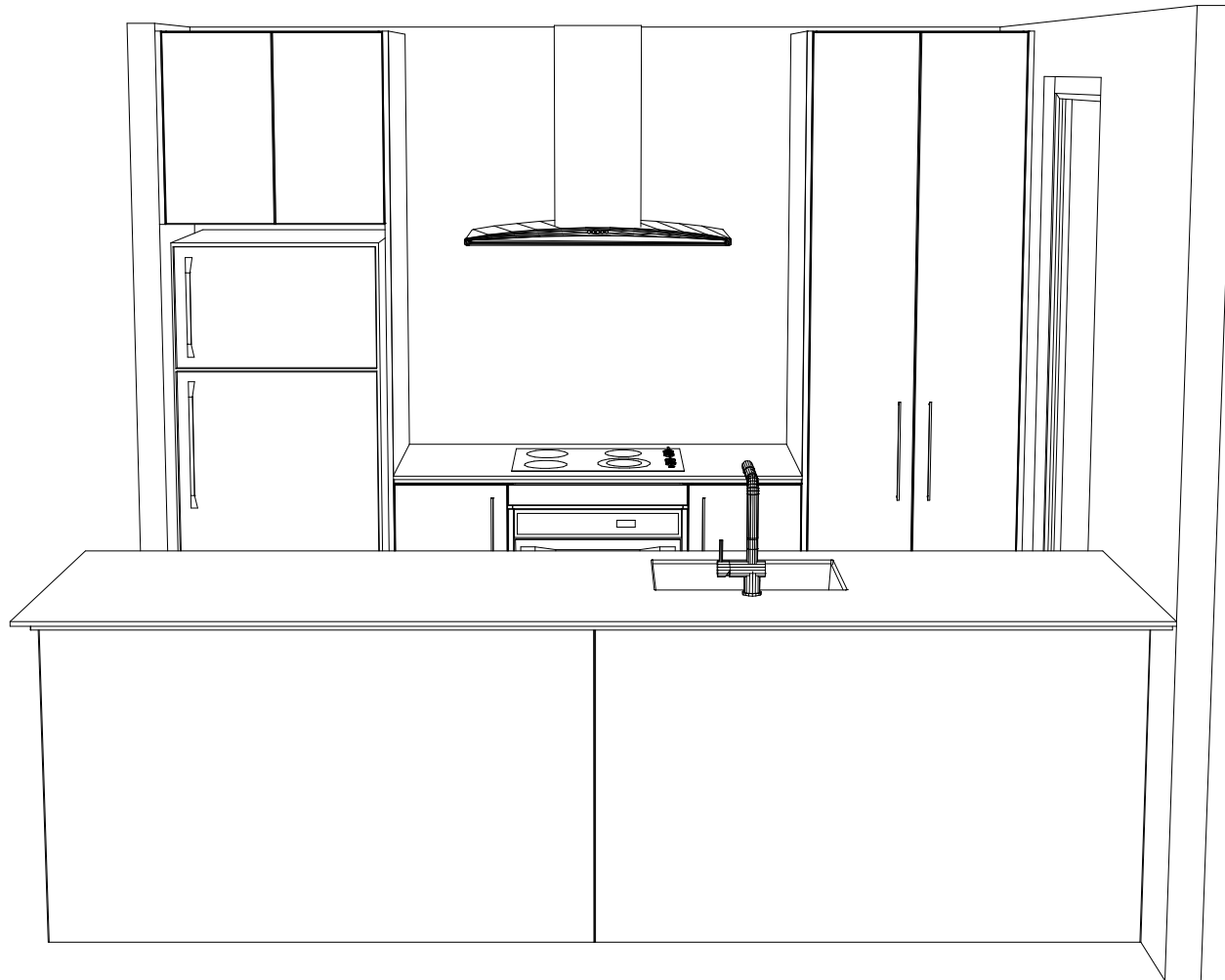
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Dwg: Kitchen Elevation	Scale: 1 : 20	Customer: WPL - Showhome				


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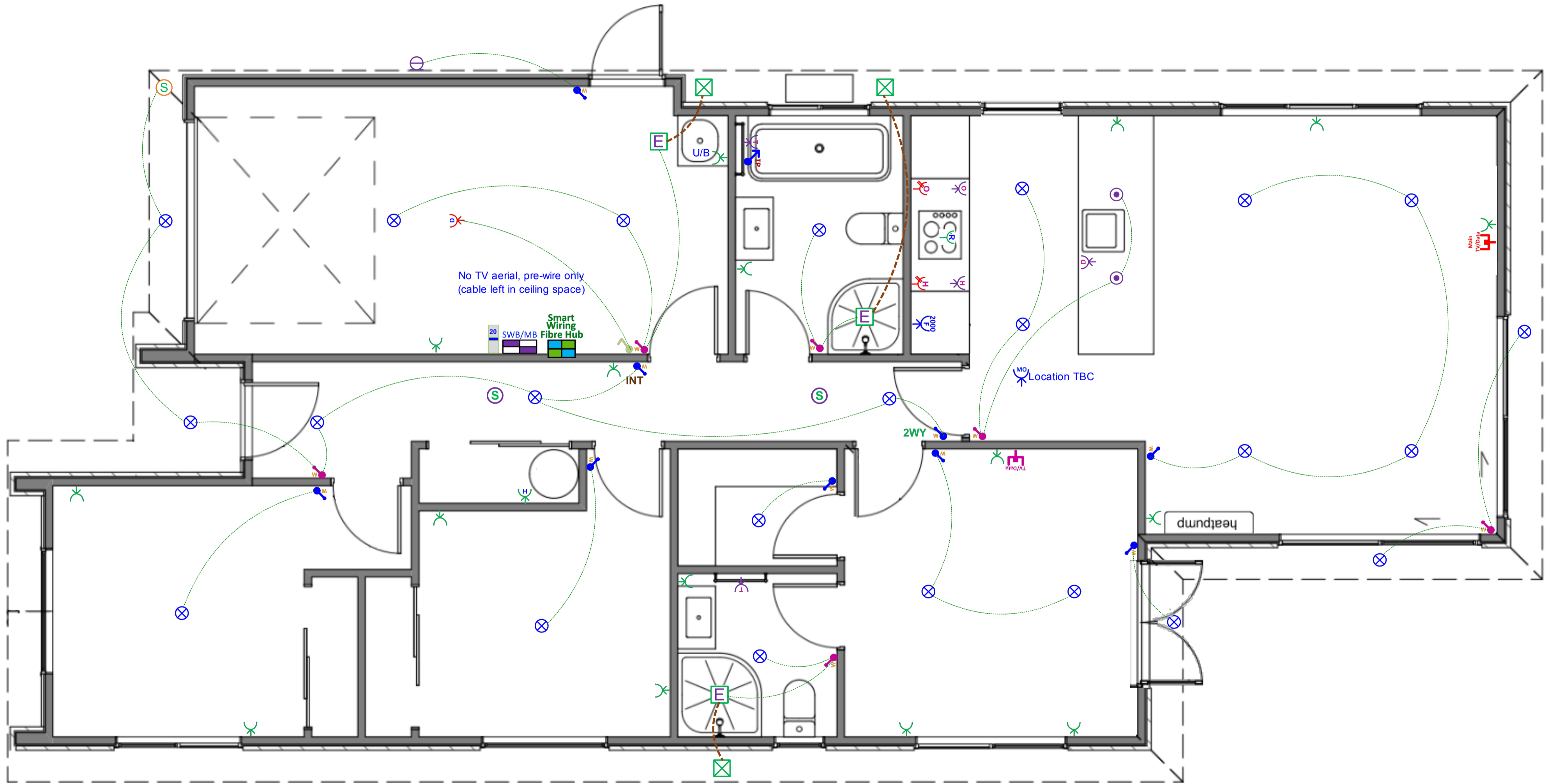
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Dwg: Kitchen 3D Perspective	Scale:	Customer: WPL - Showhome				






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Plan: Lot 248 Beachgrove - Electrical Design

Electrical		
Item		Total
 Electrical Base with 34-Way Deep Combined Meter Switchboard (Single Phase)		1 EA
 Tradesave Rangehood Power Socket		1 EA
 Tradesave Slim Single Power Socket (White) 10A - Fridge		1 EA
 Tradesave Slim Single Power Socket (White) 10A - Microwave		1 EA
 Tradesave Double Power Socket Horizontal (White) 10A		16 EA
 Tradesave Slim Double Power Socket with Oven Isolator Switch (White) 10A		1 EA
 Tradesave Slim Double Power Socket with Hob Isolator Switch (White) 10A		1 EA
 Tradesave Built-In Oven Hard-Wired Power Connection up to 20 Amp max		1 EA
 Tradesave Slim Electric Hob Hard-Wired Power Connection up to 32 Amp max		1 EA
 Tradesave Slim Dishwasher Power Socket		1 EA
 Tradesave Garage Door Opener Press Button (White)		1 EA
 Tradesave Slim Garage Door Power Socket		1 EA
 Tradesave Slim Hot Water Cylinder Hard-Wired Power Connection		1 EA
 Air Conditioning Circuit 20A MCB Installation For Heat Pump Circuit		1 EA
 Smoke Detector Alarm - 230v Mains powered with 9V battery backup		2 EA
 Tradesave Slim Heated Towel Rail Circuit & Installation (Excludes supply of Towel Rail)		2 EA
 Extractor Fan Inline 150mm & up to 6m of duct		3 EA
 Extractor Fan External Grill (White)		3 EA
 External 180-Degree Lighting Movement Sensor (White)		1 EA
 Recessed LED Downlight Prolux DL54 with White Fascia & Circuit		23 EA
 Staverton Black 1L 365mm Pendant Light, LED Lamp & Circuit		2 EA
 External LED Bulkhead Wall Light Ambius ABH8OL 3K (White) 8W & Circuit		1 EA
 Tradesave Slim White Light Switch 1 Gang		9 EA
 Tradesave Slim White Light Switch 2 Gang		6 EA
 Excel Life White IP Rated Light Switch 1 Gang		1 EA

Electrical

	Item	Total
	2-Way Light Circuit	1 EA
	Tradesave Slim 3-way Intermediate Switching Light Circuit	1 EA
	Smart Wiring 20" Hub & Fibre Optic Pathway incl Power Circuit	1 EA
	Tradesave Slim UHF TV/Data Network Socket (Cat6) - White	1 EA
	Tradesave Slim Main UHF TV/Data Network Socket (Cat6) - White	1 EA