

Lot 498 Arbor Green

Stage 20, Arbor Green, Springwood, Rolleston



Artist impression only – refer to concept plan.





House & Land Package:

\$664,900

Family sized home featuring three bedrooms, master with ensuite, open plan kitchen living and dining, family bathroom and internal access garaging. Well appointed for the sun on a fully landscaped section, offering quality fixtures and fittings throughout.

Home area:	135m ²
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Section area:	270m ²
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 3	 1	 2	 1
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Features:

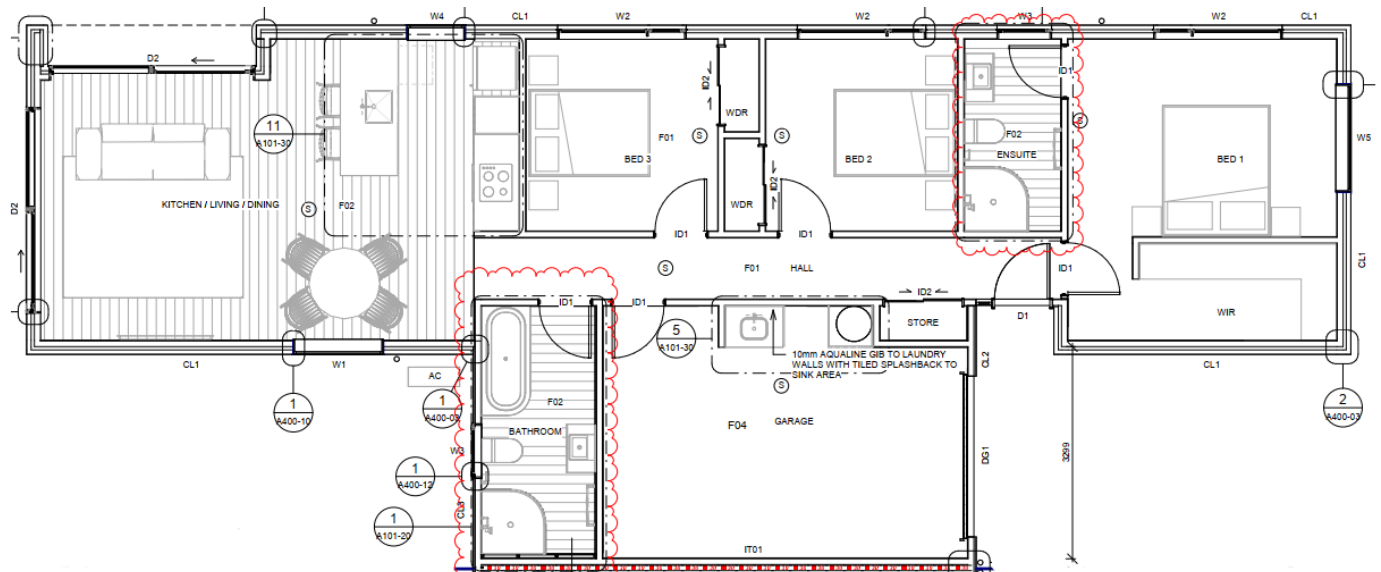
- Turnkey
- Master Build 10-Year Guarantee
- 1 year warranty period
- Healthy Homes compliant
- RibRaft foundation
- Modern bathroomware
- Custom kitchen cabinetry
- Tri-Stone benchtop
- Window coverings
- Fully landscaped

P: (03) 977 2832

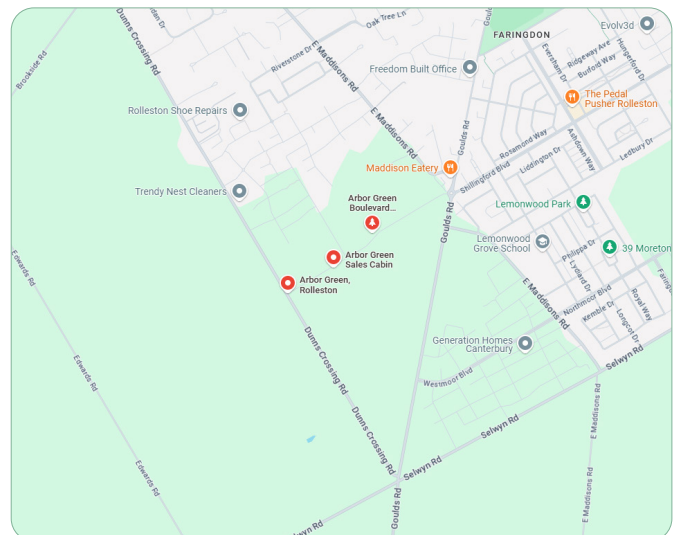
E: info@oakridgehomes.co.nz

oakridgehomes.co.nz

Floor Layout



Site Location



Specification

General			
Guarantee:	Master Build 10-Year	Insurance:	Builders All Risk
Warranty	1 year from settlement	Utilities:	Mains supply including fibre
Dwelling Exterior			
Foundation:	TC1 RibRaft	Framing / trusses:	2.42m LVL
Roofing:	35° trapezodial	Fascia and gutter:	Dimond metal fascia and quad gutter
Downpipes:	Colorsteel 75×55 rectangular	Main cladding:	Austral 70 Series Brick
Feature cladding:	James Hardie Axon & Abodo AW55 135×18mm	Entry door:	Thermally-Broken APL 860mm Latitude with urbo lever
Window joinery: Tinted window TBC	Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames	Garage door:	Insulated Coloursteel flat panel woodgrain 2.5m
Dwelling Interior			
Insulation:	As per Building Code. Including entire garage envelope - internal & external walls	Plasterboard:	Plasterboard - 10mm to walls, wet area to bathrooms and 13mm to ceilings
Gib stopping:	Grade 4 paint finish in accordance with AS/NZ 2311:2009	External corners:	Square stop
Hinged doors:	1980mm (horizontal V groove)	Wardrobe sliders:	2200mm Horizontal V groove
Wardrobe shelving:	MDF shelf and rail	Cupboard shelving:	MDF shelves x4
Door hardware:	Windsor Futura – Apex brushed nickel	Skirting board:	60mm bevel
Electrical:	As per plan	Heatpump:	Fujitsu SET-ASTH22KNTA 6.0/6.5kw
Extractor:	Inline extractor fan & extractor duct through fascia grille	Hot water cylinder:	Rheem 250L
Carpet:	Belgotex Urban Twist	Vinyl plank:	Belgotex Luxury Plank – Province
Splashback tiles:	100×300mm subway tile (Kitchen only)	Window coverings:	Windowware Everyday Vinyl Collection – Mystic. Excluding garage & bathrooms
Landscaping			
Driveway and patio:	Exposed aggregate – sealed	Vehicle crossing:	Included
Soft landscaping:	As per plan	Fencing:	As per plan
Colour Scheme			
EXTERIOR		INTERIOR	
Roof:	Sandstone grey	Ceilings:	Half black white
Fascia, gutter & downpipes:	Sandstone grey	Walls:	Black white
Window joinery:	Sandstone grey	Interior doors:	Black white
Front door:	Sandstone grey	Skirting:	Black white
Front door frame:	Sandstone grey	Carpet:	Iron
Garage door:	Sandstone grey	Vinyl plank:	Natural
Garage door frame:	Sandstone grey	Kitchen cabinetry:	Simply white
Soffits:	Half black white	Feature kitchen/negative detail:	Subtle grey velvet
Exterior cladding (Main):	Whitehaven with white mortar	Kitchen benchtop:	TriStone 12mm – Pure white
Exterior cladding (Abodo):	Patina oil	Kitchen splashback:	White gloss with misty grey grout

Specification

Kitchen and Laundry

Kitchen, bench surface and splashback:

Custom made Melteca or Bestwood finished cabinetry. TriStone 12mm benchtop on negative detail. Tiled splashback full length of back bench/wall.

*Refer to plans and colour scheme

Kitchen sink:

Lazio NZLSS-5545 single stainless steel sink



Kitchen tapware:

Elementi Uno Gooseneck



Kitchen handles:

Stefano Orlati 4062— Titanium



Oven:

Bosch HBF133BSOA



Ceramic cooktop:

Bosch PKE611K17A



Rangehood:

Bosch DWB97DM50A



Dishwasher:

Bosch SMU2ITS01A



Laundry:

Laundry joinery as per laundry plan

*Refer to plans and colour scheme

Feature pendant:

Staverton 1L—black



Bathrooms

Vanities:

Elementi Novara, 2 drawer 750mm, French Oak



Mirrors:

Polished edge direct fix—1000×750mm



Showers:

Arena curved with moulded wall



Toilets:

Elementi Uno back to wall



Bath:

Elementi Otto acrylic corner bath 1650×750×560 white - right



Towel rails:

Newtech 5 bar square—heated



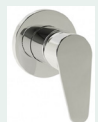
Basin mixers:

Elementi Cura



Shower / bath mixers:

Elementi Cura



Shower slides:

Elementi Rayne











Bath spout:

Elementi Uno



SITE AREA	540m ²
BUILDING AREA	270m ²
SITE COVERAGE (Duplex max. 50%)	50%
GARAGE DOOR:	
- MIN. SET BACK FROM STREET	- 5500mm
- MIN. SETBACK FROM FACADE	- 1000mm
4000 x 4000 OUTDOOR SPACE	- AS NOTED
1000 x 1000 OUTDOOR SPACES	- AS NOTED

LEGEND	PIPE DIA.	MIN. FALL	
	100mm	1:60	FOUL WATER DRAINAGE. As per NZBC G13/AS2 Table 2
	100mm	1:120	STORM WATER DRAINAGE As per NZBC E1/AS1 Table 2
			MAINS WATER SUPPLY
			POWER & ENABLE
GT 			GULLY TRAP
ORG 			OVERFLOW RELIEF GULLY
ET 			EXTERNAL TAP
V 	80mm		TERMINAL VENT
AP			ACCESS POINT
IP			INSPECTION POINT

GENERAL NOTES:

REFER TO TYPOLOGY PLANS FOR INTERNAL PLUMBING AND DRAINAGE

GULLIES TO BE SUPPORTED BY EXTERNAL SLAB WITH FLEXIBLE JOINTS

DECKING AS PER SCHEDULE 1 OF THE BUILDING ACT 2004 & IS TO COMPLY WITH D1

ALL PLUMBING AND DRAINAGE WORK TO COMPLY WITH G13/A1, G13/AS2

NOTE:
1. Fill shall be:
Ordinary where drains are located below gardens and open country.
Compacted selected fill where the drains are located below pedestrian walkways and similar areas (subjected to light traffic).

Diagram illustrating a rock soak pit system:

- drain
- Pit sized to suit ground soakage and give adequate storage to avoid overflowing.
- Rocks 100-150mm.
- Filter cloth surrounding soakpit.

(a) Rock soak pit

Drawing No
A10-004

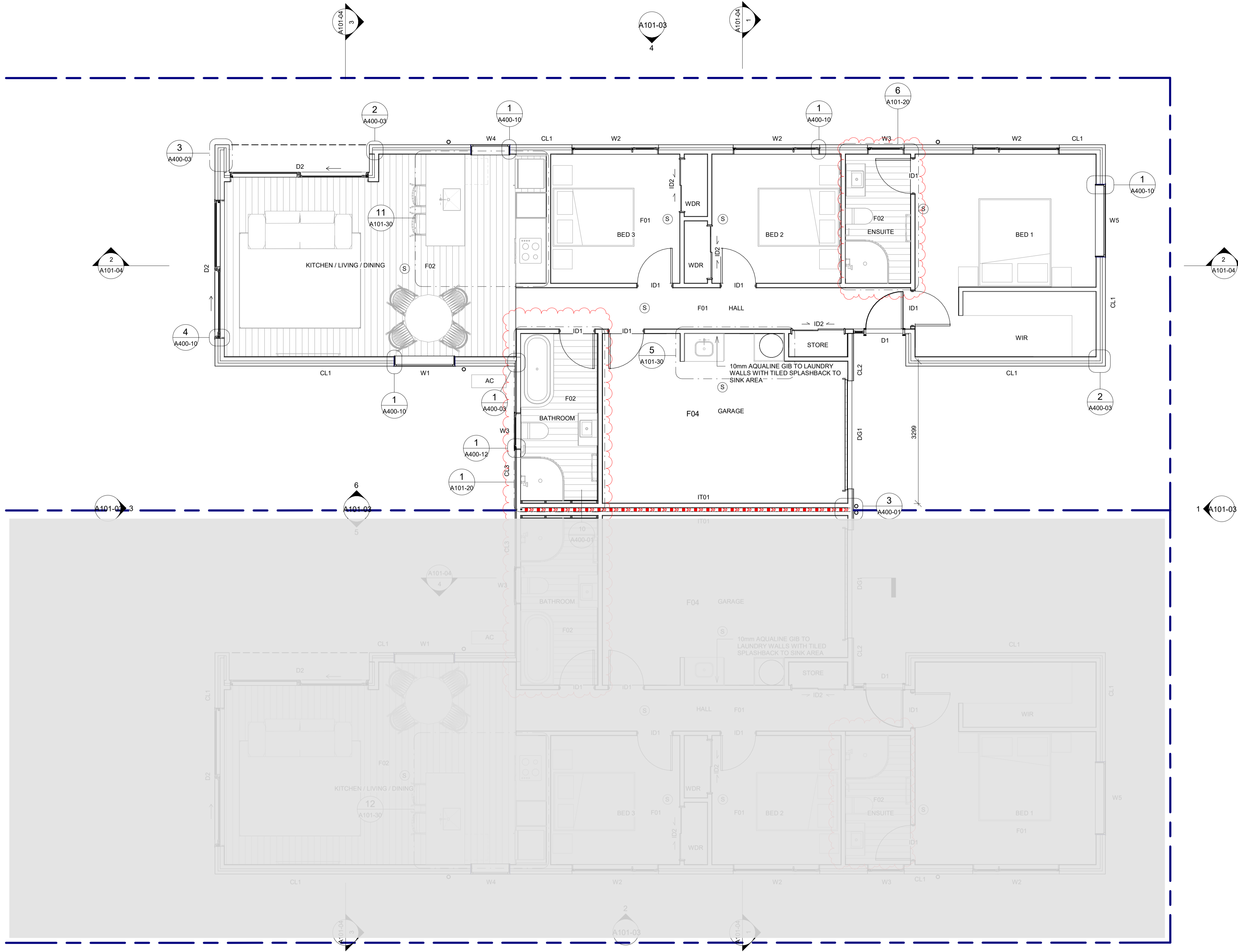
Revision
E

Project No
223000.19

Issue Date
01/04/2025

Drawn By
Author

Checked By
SXSE



GENERAL NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE NZBC AND AUTHORITY REQUIREMENTS

ALL TIMBER FRAMING TO STRUCTURAL DESIGN OR TO NZS:3604 2011 OR NZS:3202 2003

REFER TO DRAWINGS FOR SPECIFIC LOCATIONS OF DETAILS

ALL PLUMBING AND DRAINAGE WORK TO COMPLY WITH G13/AS1, G13/AS2

REFER TO AND READ IN CONJUNCTION WITH FRAMING DRAWINGS AND SPECIFICATION

WINDOWS AND DOOR GLAZING TO COMPLY WITH NZS 4223.3:2016

ALL BOTTOM PLATES IN BATHROOMS AND LAUNDRIES TO BE H3.2 TREATED

WALL LEGEND

CL1 70 SERIES BRICK VENEER CLADDING ON 50mm (40mm min). CAVITY ON WALL UNDERLAY ON 90X45 H1.2 TIMBER FRAMING WITH R2.8 WALL INSULATION

CL2 ABODO HORIZONTAL SHIPLAP TIMBER ON 20mm CAVITY ON WALL UNDERLAY ON 90X45 H1.2 TIMBER FRAMING WITH R2.8 WALL INSULATION

CL3 HARDIES AXON PANEL 133mm ON 20mm CAVITY ON 7mm ECOPLY ON 90X45 H1.2 TIMBER FRAMING WITH R2.8 WALL INSULATION

FIRE LEGEND:

(S) INTERCONNECTED SMOKE ALARMS TO COMPLY WITH NZBC AS F7/ AS1

30 30/30/30 FRR

IT01 GIB INTERTENANCY BARRIER SYSTEM GBTLAB 60d
1 x 13mm GIB® Standard each side

FLOOR FINISHES:

F01 CARPET ON UNDERLAY

F02 VINYL FLOORING

F04 SEALED CONCRETE

INTERNAL WALL LININGS

10mm STANDARD GIB PLASTERBOARD TO ALL WALLS EXCLUDING BATHROOMS AND LAUNDRY

10mm AQUALINE GIB PLASTERBOARD TO BATHROOM, ENSUITE AND LAUNDRY WALLS

IT WALL

IT01 GIB INTERTENANCY BARRIER SYSTEM GBTLAB 60d
1 x 13mm GIB® Standard each side

Consultants
Survey -
Geotechnical -
Screw Piles -
Structure -
Services -
Fire -
Landscape -

DAVIE LOVELL-SMITH
-
-
-
-
-
-
-
KAMO MARSH

Revisions
A PRELIMINARY DESIGN
B BUILDING CONSENT
C SDG - RFI
D AMENDMENT TO BC

Date
09/05/2024
26/07/2024
28/08/2024
01/04/2025

DO NOT SCALE DRAWINGS. Contractor must verify all dimensions on site before commencing any work. Architect to be notified immediately of any discrepancy. All work shown to be carried out in accordance with the Building Act 2004, all statutory and regulatory authorities and Building Consent Authority approved Consents.

Client
HUGHES DEVELOPMENTS

Project
ARBOR GREEN

Address
FARINGDON
ROLLESTON, 7615

SOUTH by SOUTHEAST
Architects

Address
Grd Floor 151 Cambridge Terrace, Christchurch 8013, New Zealand

Drawing Title
W_3A_DUPLEX - FLOOR PLAN

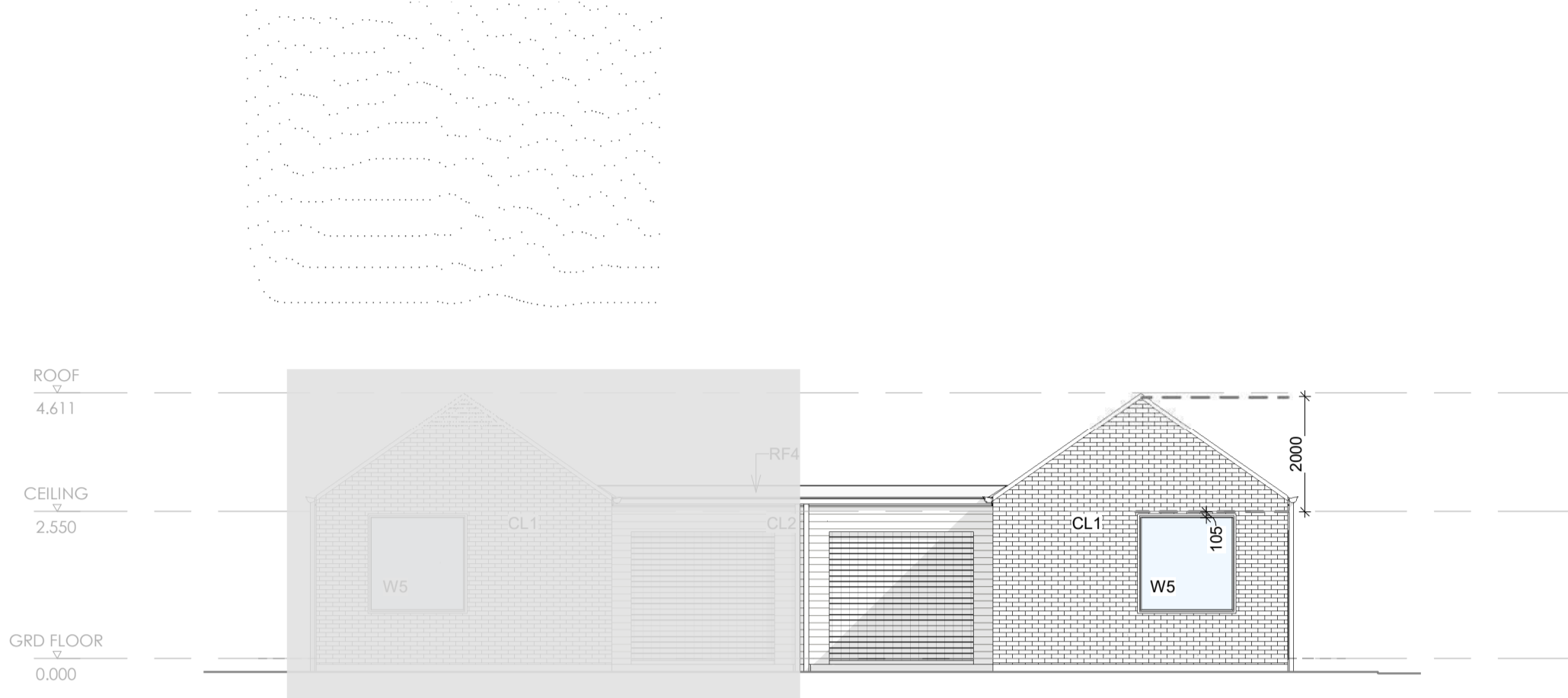
Project Stage
Refer Revision
Drawing Scale As indicated @ A1

Drawing No
A101-01

Project No
Issue Date
Drawn By
Checked By

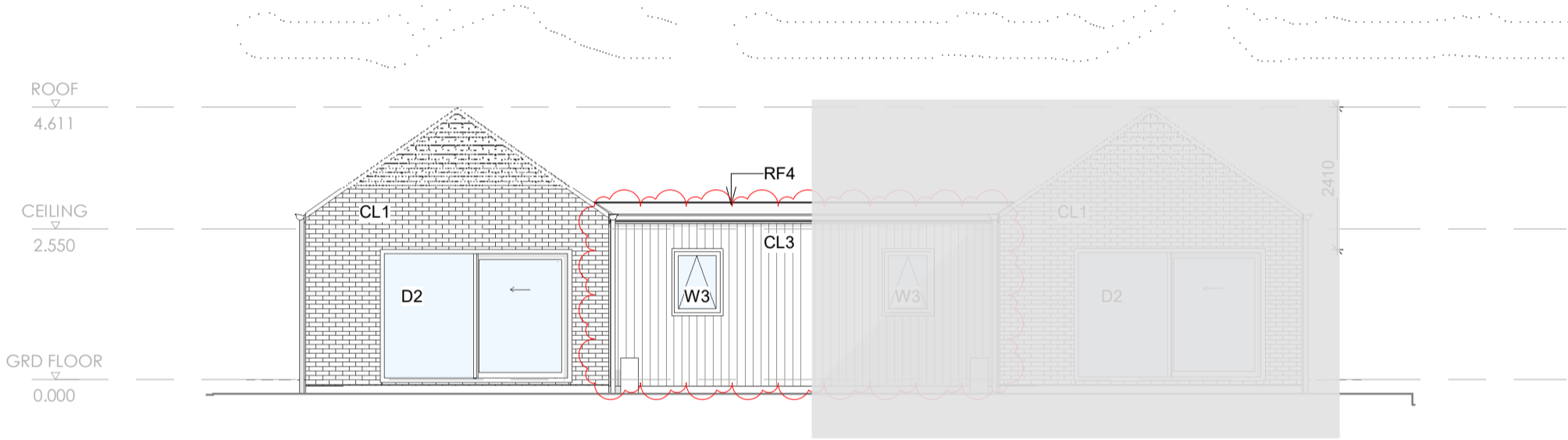
223000.19
01/04/2025
Author
SXSE

Revision
D



ELEVATION 1

1 : 100



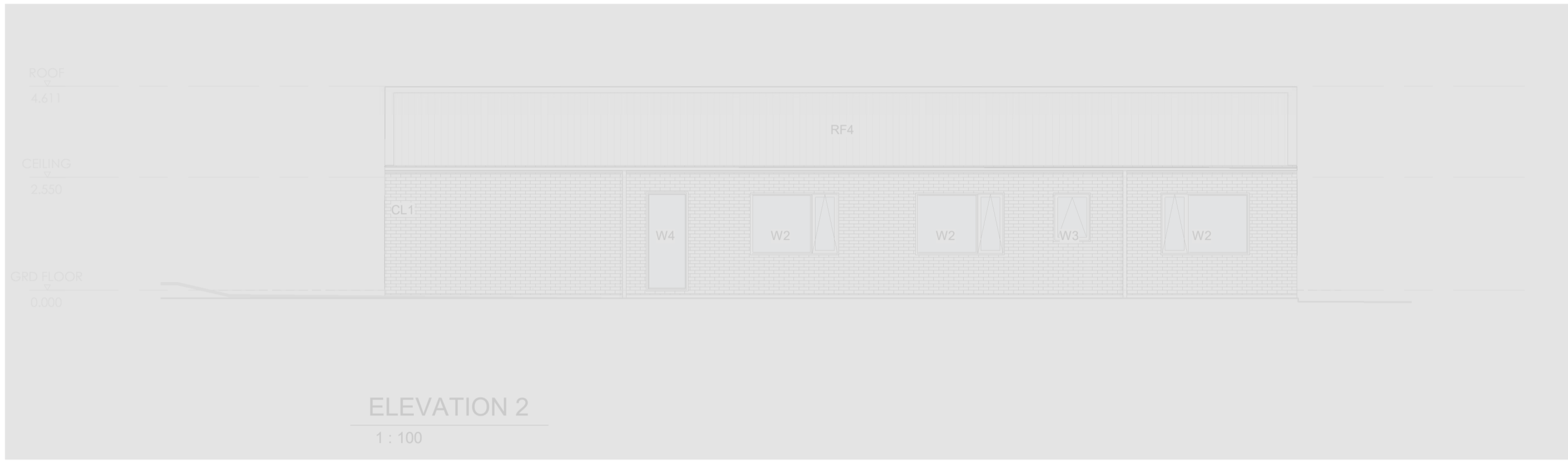
ELEVATION 3

1 : 100



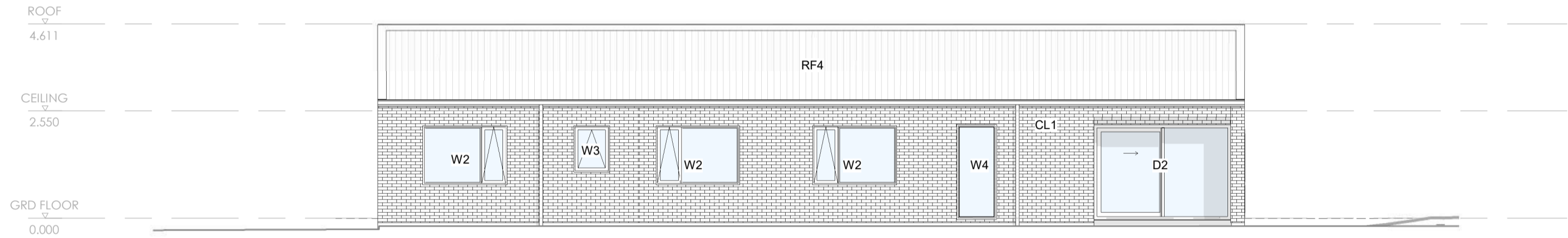
ELEVATION 5

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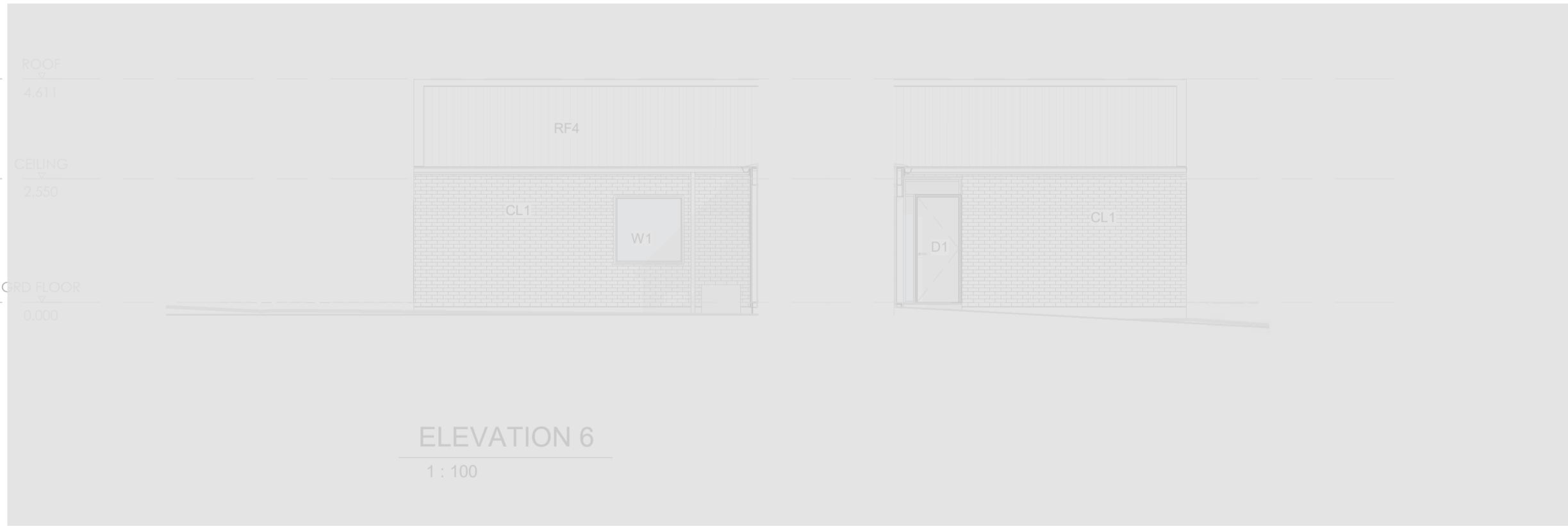
ELEVATION 2

1 : 100



ELEVATION 4

1 : 100



ELEVATION 6

1 : 100

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ROOFING LEGEND

RF4 COLORSTEEL ROOFING - SANDSTONE GREY

TRAPEZOIDAL ROOFING ON UNDERLAY ON 90x45 H1.2 PURLINS. ON H1.2 TIMBER ROOF FRAMING

ROOF BRACING

- DIAGONAL STEEL STRIP BRACING AS PER NZS 3604:2011 IN ACCORDANCE WITH 10.4.2.3. FIXINGS

Consultants
Survey DAVIE LOVELL-SMITH
Geotechnical - -
Screw Piles - -
Structure - -
Services - -
Fire - -
Landscape KAMO MARSH

Revisions
A PRELIMINARY DESIGN 09/05/2024
B BUILDING CONSENT 26/07/2024
C SDC - RFI 28/08/2024
D AMENDMENT TO BC 01/04/2025

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Date 09/05/2024
26/07/2024
28/08/2024
01/04/2025

Client HUGHES DEVELOPMENTS

Project ARBOR GREEN

Address FARINGDON ROLLESTON, 7615

SOUTH by SOUTHEAST Architects

Address Grd Floor 151 Cambridge Terrace, Christchurch 8013, New Zealand

Drawing Title W_3A_DUPLEX - ELEVATIONS

Project Stage Refer Revision Drawing Scale As indicated @ A1

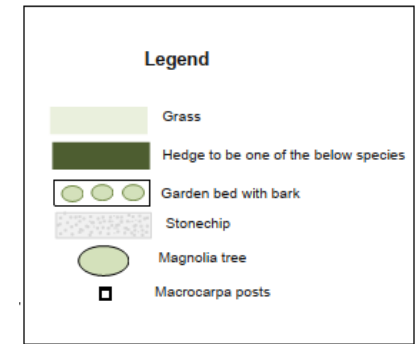
Drawing No A101-03

Project No 223000.19
Issue Date 01/04/2025
Drawn By Author
Checked By SXSE

Revision D



Note: Letterbox location TBC onsite



Macrocarpa Driveway Posts

Two 900mm high x 200mm square Macrocarpa posts with capping will be supplied by Arbor Green, to be installed either side of the driveway by the lot owner.

Mulseal and concrete encase posts, set posts back 900mm from the road boundary and set off the driveway edge by 200mm.

NB: the posts must be set at the correct height to comply with the 'visibility splay' rules. Refer Diagram 2 – Typical Feature Post Detail.

Hedge plants are to be a minimum of 800mm high at time of planting and a maximum of 600mm apart (stem to stem).

All plant beds to have timber batten edging installed adjacent to lawns.

Hedging is to be pruned to a height of 1200–1800mm and a max width of 1000mm.

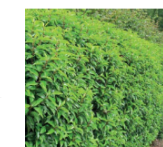
Hedging to be:



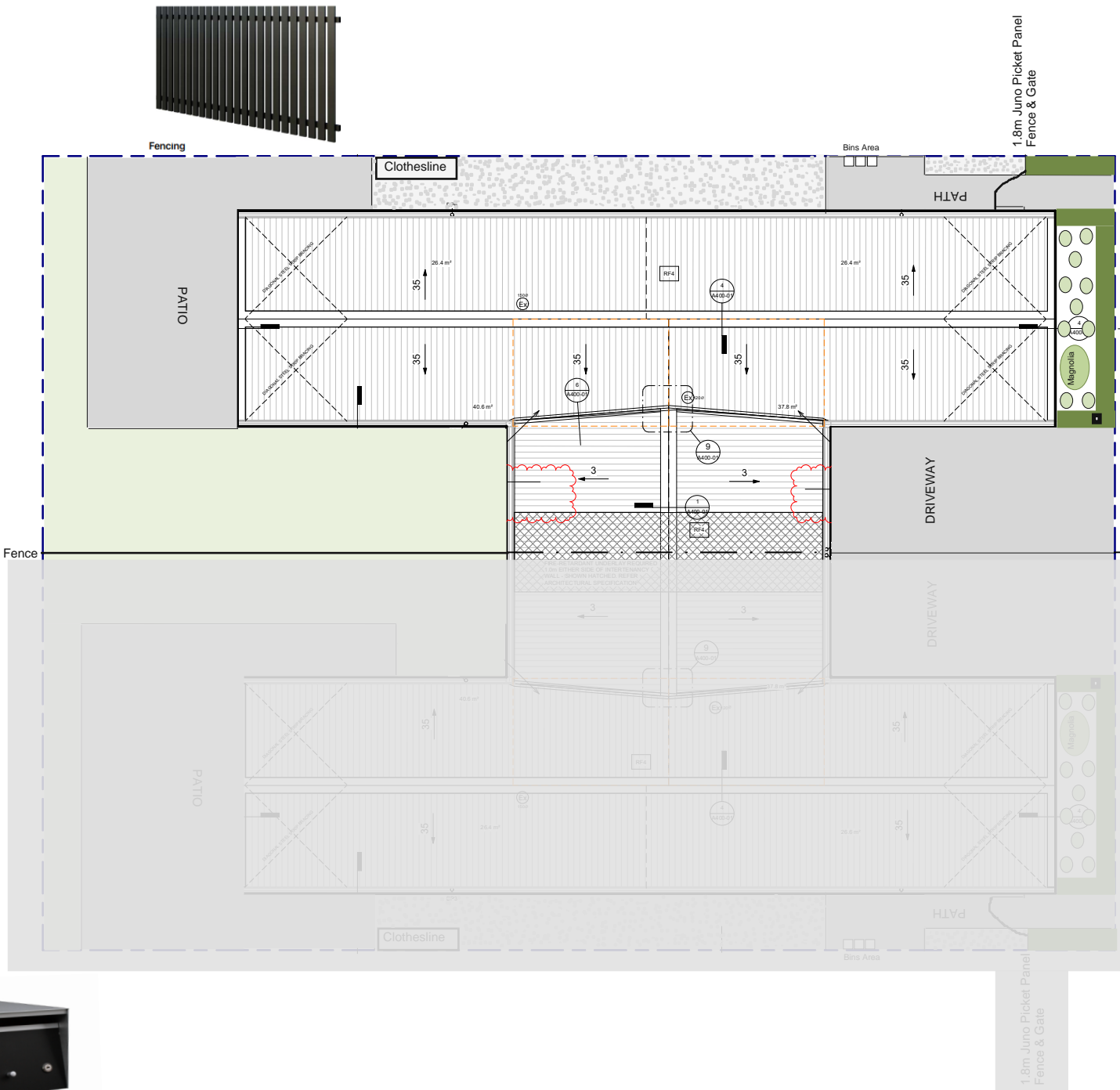
Corokia x Virgata
Corokia
Sunlight: Prefers full sun
Frost: Hardy
Wind: Tolerant
Moisture: Normal garden conditions



Griselinia Littoralis
Native Broadleaf/ Kapuka
Sunlight: Indifferent
Frost: Hardy
Wind: Tolerant
Moisture: Normal garden conditions



Prunus Lusitanica
Portuguese Laurel
Sunlight: Prefers full sun
Frost: Hardy
Wind: Tolerant
Moisture: Normal garden conditions



Letterbox



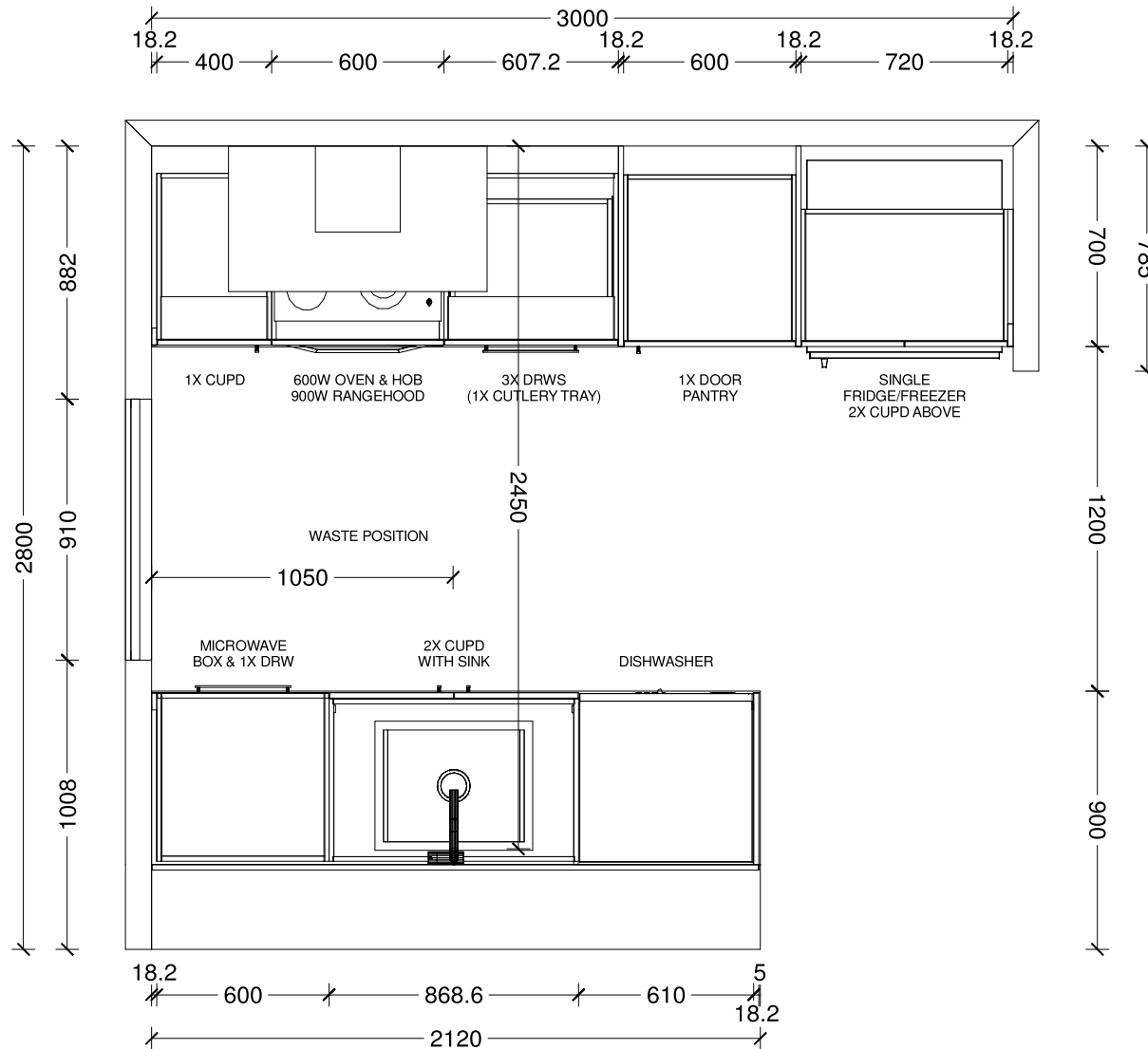
WENDEL BORN
PROPERTY LTD
LOTS 498 & 726 ARBOR GREEN
14A & 14B PRIVET WAY, ROLLESTON

Issue
Concept Design

Landscape Plan

Scale 1:100 @ A3

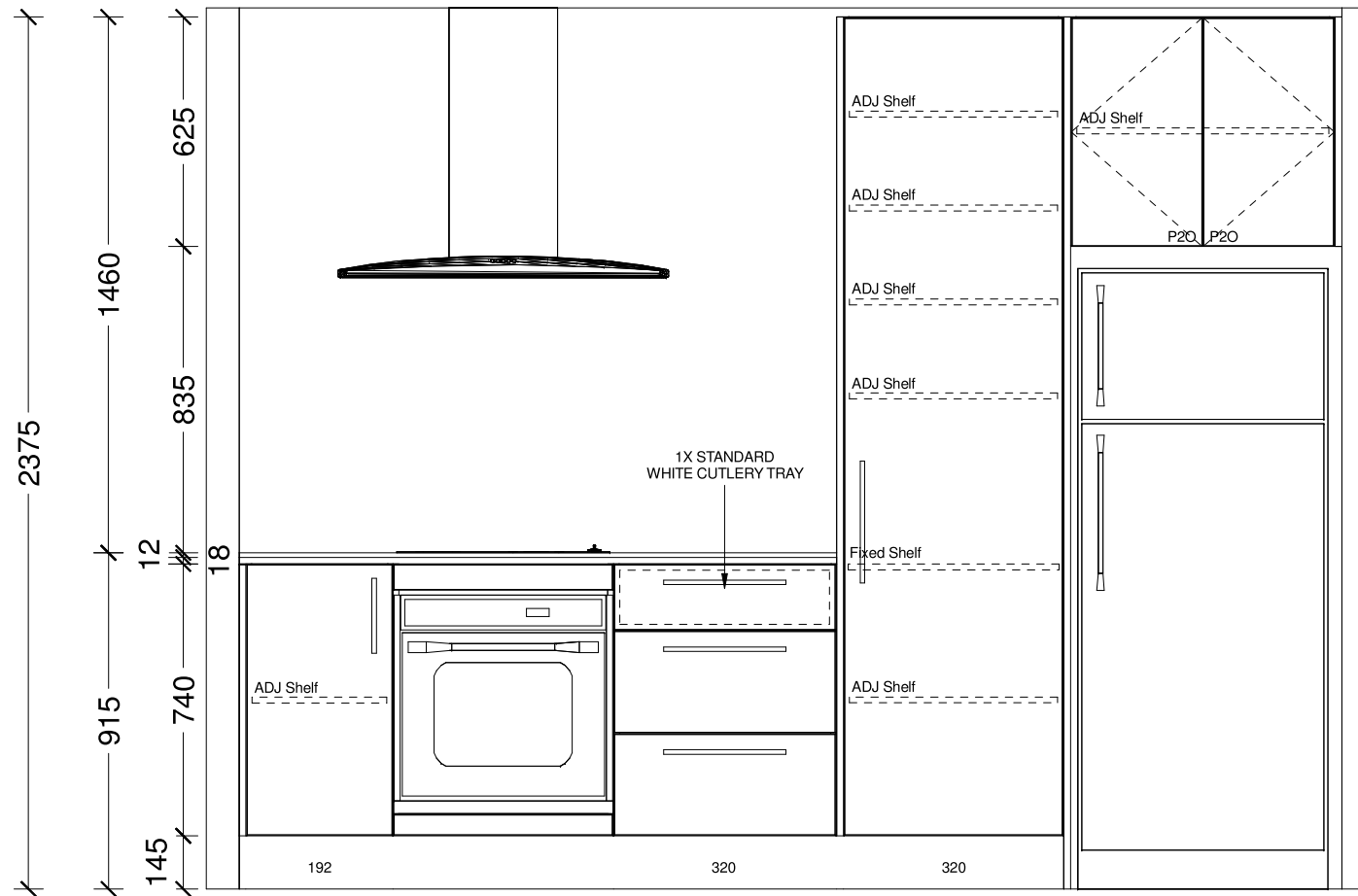
Revision 1
Date 21/11/2024
File No. 24210



Benchtop Colour:
12mm square edge Tristone in Pure White
Back Wall Joinery Colour:
Bestwood Simply White Embossed
Island Joinery Colour:
Bestwood Subtle Grey Velvet
Negative Detail Joinery Colour:
Bestwood Subtle Grey Velvet
Handles:
4062-192/320-Titanium Grey
Sink:
Lazio NZLSS-5545 Stainless Single Bowl

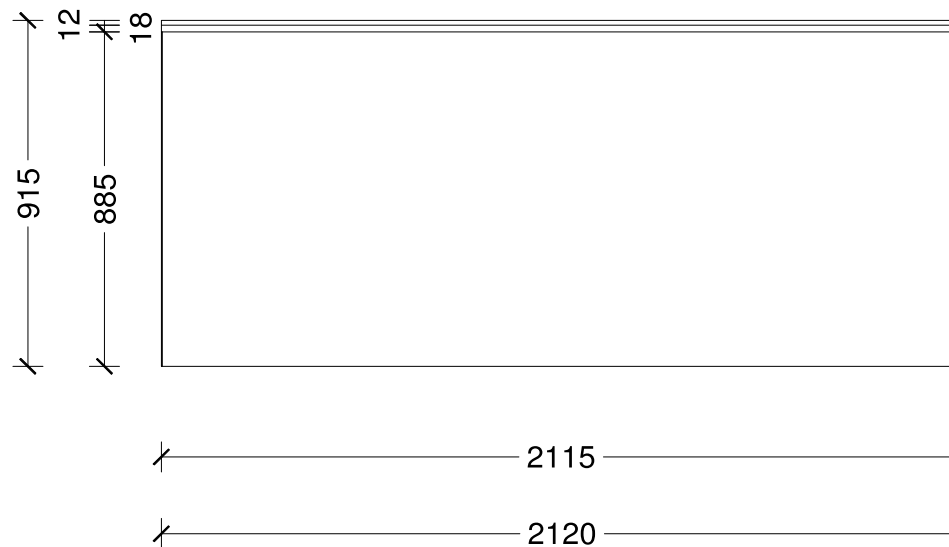
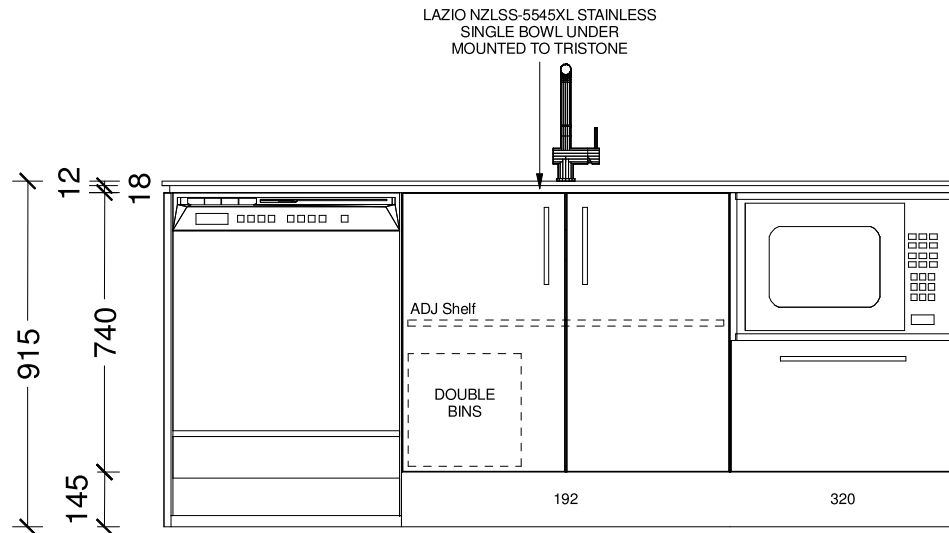
Designer: Sarah Molyneux	Date: 09 Apr 25	Client: Oakridge Homes	BC Ref:	Site Address: Lot 498 Arber Green	Job#: 57799	
Dwg: Kitchen Plan	Scale: 1 : 25	Customer:				

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.



Designer: Sarah Molyneux	Date: 09 Apr 25	Client: Oakridge Homes	BC Ref:	Site Address: Lot 498 Arber Green	Job#: 57799	
Dwg: Kitchen Elevation	Scale: 1 : 20	Customer:				


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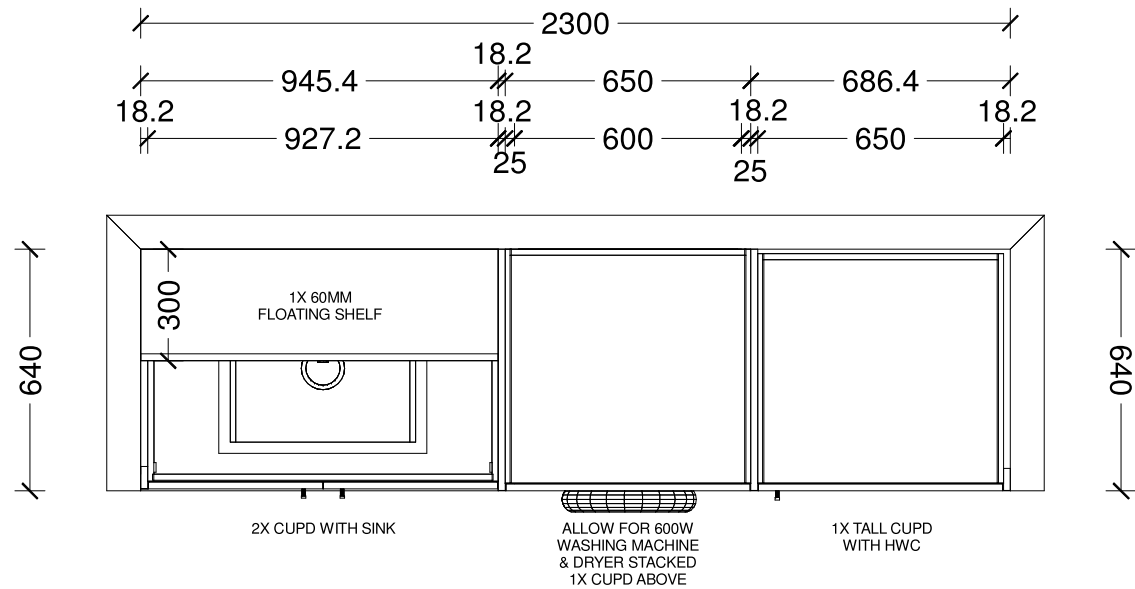
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Designer: Sarah Molyneux	Date: 09 Apr 25	Client: Oakridge Homes	BC Ref:	Site Address: Lot 498 Arber Green	Job#: 57799	
Dwg: Kitchen 3D Perspective	Scale:	Customer:				

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Benchtop Colour:

12mm square edge Tristone in Pure White

Main Joinery Colour:

Bestwood Simply White Embossed

Floating Shelf & Neg Detail Joinery Colour:

Bestwood Subtle Grey Velvet

Handles:

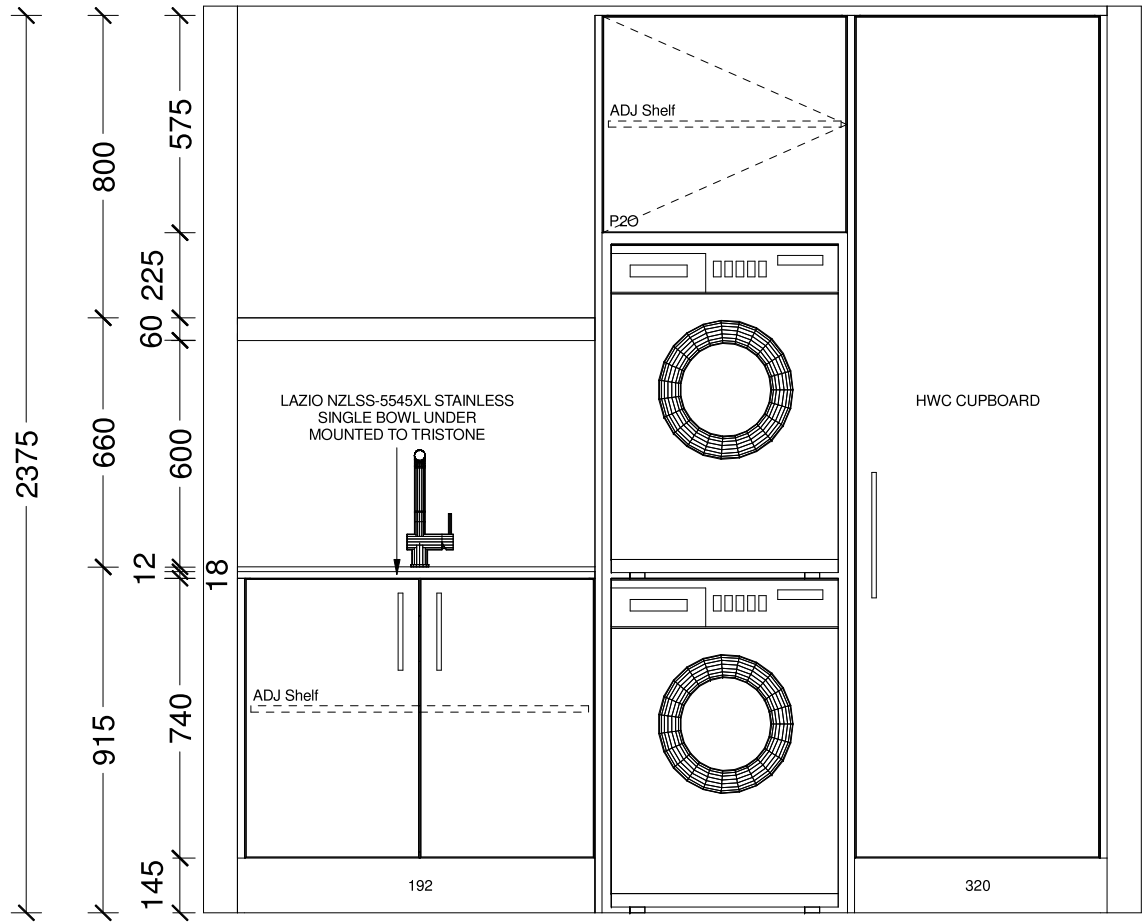
4062-192/320-Titanium Grey

Sink:

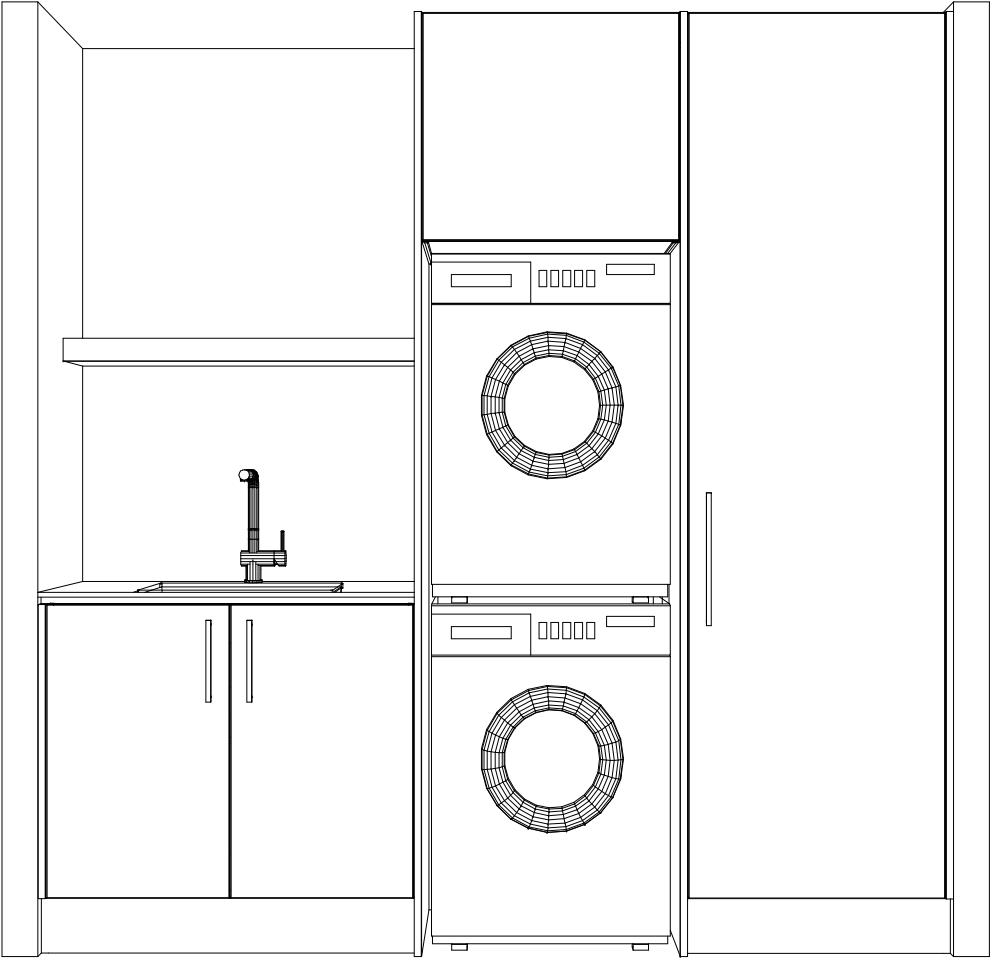
Lazio NZLSS-5545XL Stainless Single Bowl


Designer: Sarah Molyneux	Date: 09 Apr 25	Client: Oakridge Homes	BC Ref:	Site Address: Lot 498 Arber Green	Job#: 57799	
Dwg: Laundry Plan	Scale: 1 : 20	Customer:				

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. All dimensions and size designations given are subject to verification on job site and adjustment to fit job conditions.

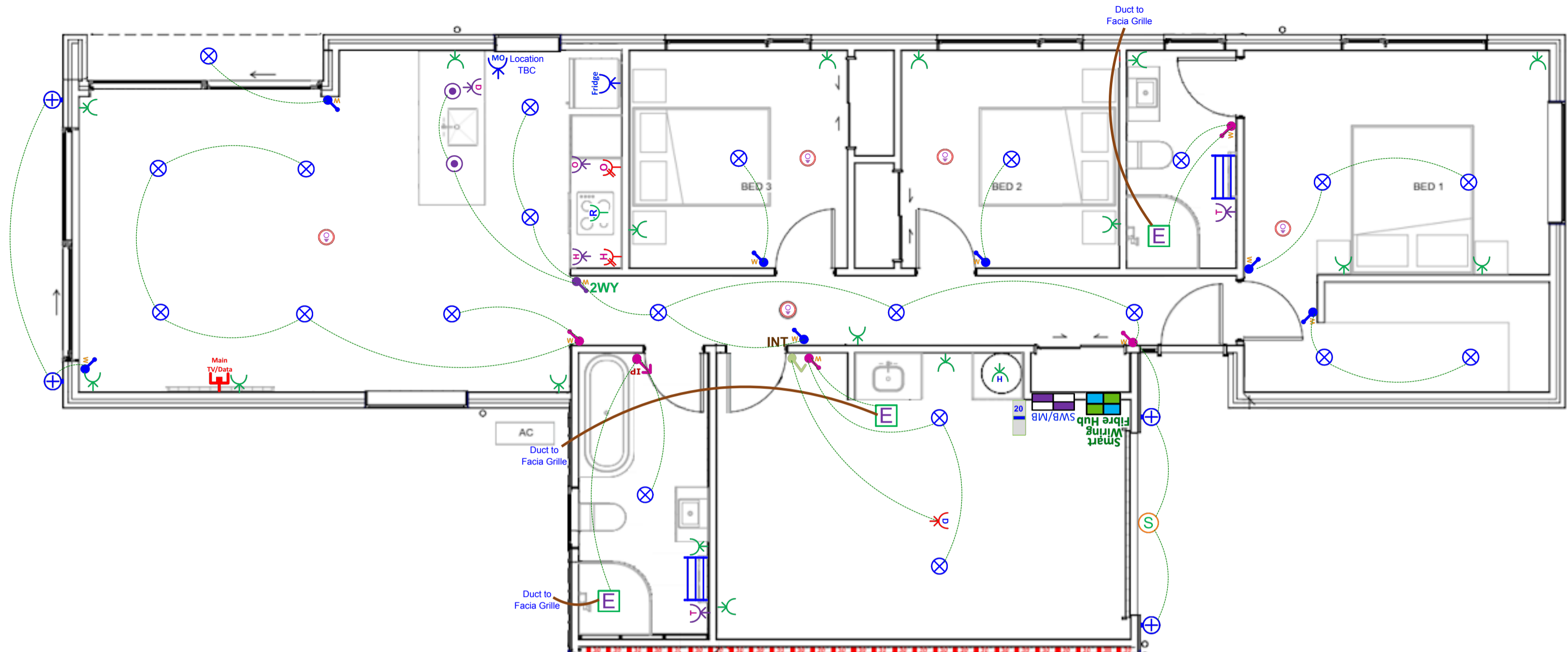


Designer: Sarah Molyneux	Date: 09 Apr 25	Client: Oakridge Homes	BC Ref:	Site Address: Lot 498 Arber Green	Job#: 57799	
Dwg: Laundry Elevation	Scale: 1 : 20	Customer:				



Designer: Sarah Molyneux	Date: 09 Apr 25	Client: Oakridge Homes	BC Ref:	Site Address: Lot 498 Arber Green	Job#: 57799	
Dwg: Laundry 3D Perspective	Scale:	Customer:				










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Plan: Arbor Green 498/1 - Lot 498 Electrical Design

Electrical		
Item		Total
 Electrical Base with 34-Way Deep Combined Meter Switchboard (Single Phase)		1 EA
 Rangehood Single Switched Power Socket		1 EA
 Tradesave Slim Single Power Socket (White) 10A - Fridge		1 EA
 Tradesave Slim Single Power Socket (White) 10A - Microwave		1 EA
 Tradesave Double Power Socket Horizontal (White) 10A		17 EA
 Tradesave Slim Double Power Socket with Oven Isolator Switch (White) 10A		1 EA
 Tradesave Slim Double Power Socket with Hob Isolator Switch (White) 10A		1 EA
 Tradesave Built-In Oven Hard-Wired Power Connection up to 20A (max)		1 EA
 Tradesave Slim Electric Hob Hard-Wired Power Connection up to 32A (max)		1 EA
 Tradesave Slim Dishwasher Power Socket (White)		1 EA
 Tradesave Garage Door Open/Close Press Switch (White)		1 EA
 Tradesave Slim Garage Door Power Socket (White)		1 EA
 Tradesave Slim Hot Water Cylinder Hard-Wired Power Connection (White)		1 EA
 Air Conditioning Circuit 20A MCB Installation For Heat Pump Circuit		1 EA
 Orca OM866S-10RF Wireless Interconnected Smoke Detector - Photoelectric 10-year battery life		5 EA
 Newtech ST65 Towel Rail 5-Bar Square Ladder 530 x 600mm (Chrome) - Excludes Circuit & Installation		2 EA
 Tradesave Slim Heated Towel Rail Circuit & Installation (Excludes supply of Towel Rail)		2 EA
 Extractor Fan Inline 150mm with up to 6m of Duct		3 EA
 External 180° Infrared Movement Surface Mounted Sensor Up to 12M Range, Adjustable 10sec - 15min time delay (White)		1 EA
 Recessed Downlight Prolux DL54 LED 10-Watt 160° Beam (Switchable 3K-4K-6K) White Fascia & Circuit		21 EA
 Staverton Black 1L 365mm Pendant Light, LED Lamp & Circuit		2 EA

Electrical

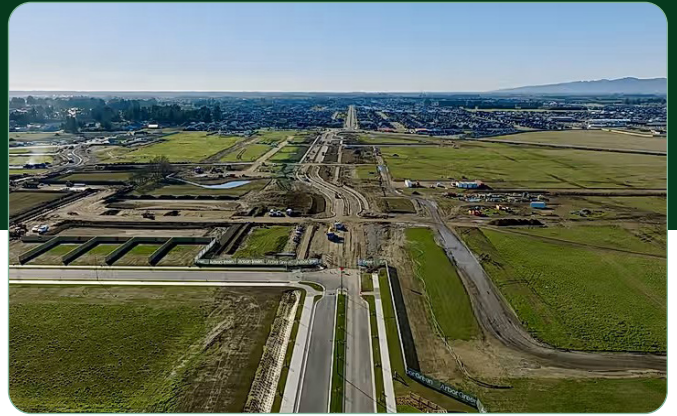
Item	Total
 External LED Up/Down Round 2x 5W Wall Light Ambius AWLSR316LED 3K (Stainless Steel) & Circuit	4 EA
 Tradesave Slim Light Switch 1-Gang (White)	7 EA
 Tradesave Slim Light Switch 2-Gang (White)	4 EA
 Tradesave Slim Light Switch 3-Gang (White)	1 EA
 Excel Life White IP Rated Light Switch 2 Gang	1 EA
 2-Way Light Circuit	1 EA
 Tradesave Slim 3-way Intermediate Switching Light Circuit	1 EA
 Smart Wiring Base 20" Hub 12 Port with Fibre Optic Pathway and Power Circuit	1 EA
 Tradesave Slim Main UHF TV/Data Network Socket (Cat6) - White	1 EA

In the Area

About Arbor Green

Arbor Green has everything that makes up a flourishing neighbourhood. Streets, landscaping and amenities that have been purposefully designed to bring people together and enhance everyday wellbeing.

Once complete, Arbor Green will have 1200 new homes built, a primary school and a central neighbourhood precinct that create two main gathering points, while multiple parks, pathways and cycleways ensure every resident can get around with safety and ease.



Rolleston and Surrounding Areas

Living in Arbor Green provides you with an open gateway to everything the Selwyn region has to offer.

Rolleston is Canterbury's second largest urban centre. Home to growing businesses, purpose-built facilities, high quality schools and a bevy of shops and eateries, life here is vibrant, easy and fun.

You'll be close to all those urban conveniences that make life easy. There are plenty of work and education opportunities nearby and Christchurch is just 20 minutes down the road. Head a little further afield and Canterbury's mountains, lakes and beaches are yours to discover.



P: (03) 977 2832

E: info@oakridgehomes.co.nz

oakridgehomes.co.nz

Why Choose an Oakridge Home?

Oakridge Homes is a locally owned Canterbury company with decades of experience. We are Canterbury's second largest residential builder delivering 200 homes per year with a proven track record of completing over 400 homes for happy homeowners in the region. Oakridge is a small team of fifteen, each of us working diligently to achieve the company goal of delivering quality homes as efficiently and stress free as possible.

All Oakridge house and land packages are competitively priced offering true value for money including turnkey funding, meaning you pay a 10% deposit and the balance the day you get your keys. In our experience this is the preferred contract method when securing finance and a service we offer as a standard inclusion. We work closely with our contractors and suppliers to get the best product for the best cost which is reflected in our all-inclusive package pricing.

At Oakridge we are extremely proud of the relationships we have built with local tradesmen and suppliers, ensuring quality is delivered every time. We deal with one longstanding company per

element of the build which has helped us achieve our average build time of 17 weeks. We are very thankful to everyone who makes an Oakridge home come to life, many of us working alongside one another for over ten years.

Our team has put immense effort in to streamlining the consenting process by working alongside the local councils and have formed great relationships with the team leaders guaranteeing our consents are handled as efficiently as possible. Oakridge has a reputation for providing quality documentation for our consent applications which helps ensure we receive your building consent in a timely manner.

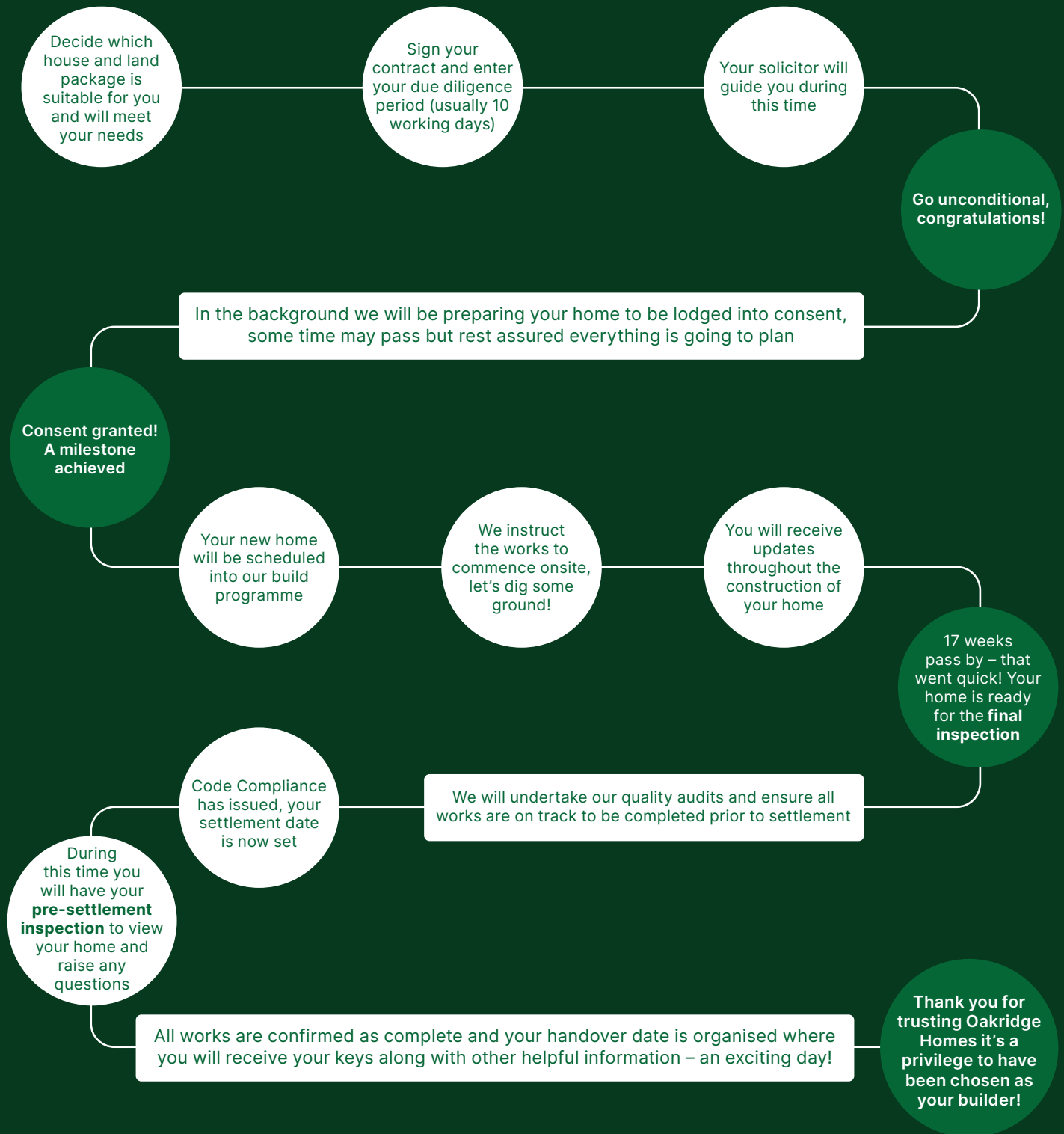
We understand that customers value quality and transparency which has been a major focus for Oakridge Homes, we offer a range of fixed price turnkey house and land packages that suit the majority of homebuyers. From the letterbox numbers to the window coverings – an Oakridge home truly is fully inclusive and move in ready when handover day comes. There are no hidden surprises and nothing for you to do but sit back and trust us to build your home.

Oakridge Homes has taken steps to ensure your home is here to stand the test of time by including:

- ✓ Master Build 10-Year Guarantee
- ✓ 1 year warranty period
- ✓ Exceeds Healthy Homes Standards
- ✓ LVL framing (laminated veneer lumber) more durable and less likely to warp
- ✓ RibRaft foundation system
- ✓ Quality cladding options
- ✓ Thermally broken window joinery
- ✓ Increased carpet underlay thickness
- ✓ Tri-Stone benchtops for easy maintenance
- ✓ Full height kitchen joinery to avoid dust collection
- ✓ Full length tiled splashback to kitchen
- ✓ Bosch appliances
- ✓ Exposed aggregate driveways and patios
- ✓ Insulated garage and garage door



The Oakridge Journey



If you'd like more information on one of our listings or want to learn more about the process of buying an Oakridge home, get in touch.

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