



House and Land Package

Lot 523 Arbor Green, Stage 20,
Springwood, Rolleston

Dwelling
Size

172m²

Section
Size

436m²

\$809,900



4



2



2



2



Note: Roof to be longrun corrugate

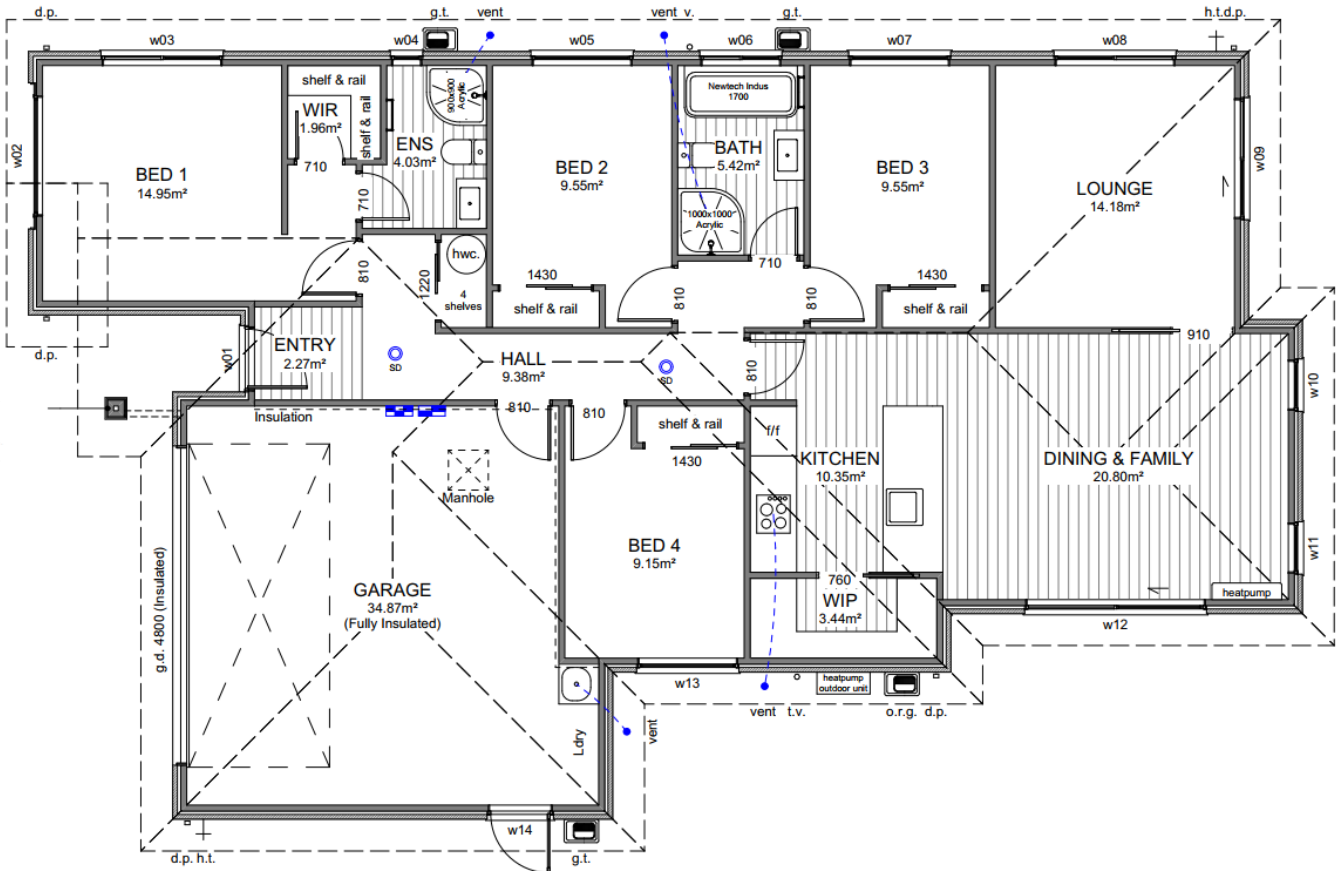
Artist Impression Only—Refer to Concept Plans

Family sized home featuring four bedrooms, master with ensuite and walk-in robe, open plan kitchen living and dining with walk-in pantry, family bathroom and internal access garaging. Well appointed for the sun on a fully landscaped section, offering quality fixtures and fittings throughout.

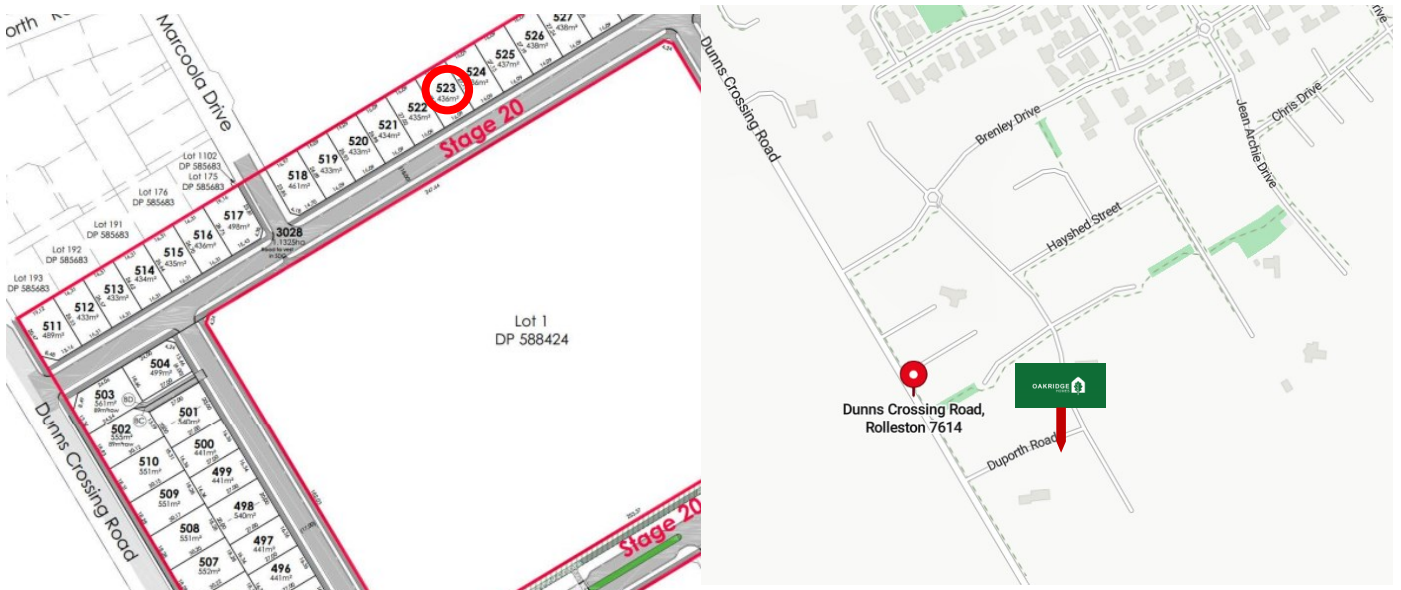
Just twenty minutes from Christchurch, Rolleston has so much to offer. You are spoilt for choice within New Zealand's fastest growing community. Offering retailers, eateries, parks and reserves along with a newly established primary school and Rolleston college in close proximity. Only a short drive to central Rolleston with a shopping complex to cater all requirements.



Floor Layout:



Site Location:



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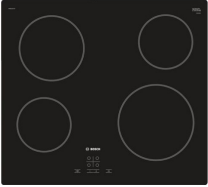




Specification

Lot 523 Arbor Green, Stage 20, Springwood, Rolleston

General:			
Guarantee:	10 year Masterbuild	Insurance:	Builders All Risk
Warranty:	365 day from settlement	Utilities:	Mains supply including fibre
Dwelling Exterior:			
Foundation:	TC1 RibRaft	Framing / trusses:	2.42m NZ5S 3602:2003 with building wrap / kiln dried pine
Roofing:	25° longrun corrugate	Fascia and gutter:	Dimond metal fascia and quad gutter
Downpipes:	Colorsteel 75x55 rectangular	Main cladding:	The Brickery 70 Series—Brick
Feature cladding:	Abodo AW55 135x18	Entry door:	Thermally-Broken APL 860mm Latitude with urbo lever
Window joinery: Tints to w02 & w03	Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames	Garage door:	Insulated Coloursteel flat panel wood-grain 4.8m
Dwelling Interior:			
Insulation:	As per Building Code. Including entire garage envelope - internal & external walls	Plasterboard:	Plasterboard - 10mm to walls, wet area to bathrooms and 13mm to ceilings
Gib stopping:	Grade 4 paint finish in accordance with AS/NZ 2311:2009	External corners:	Square stop
Hinged doors:	1980mm Straten (horizontal V groove polycore—2 line)	Wardrobe sliders:	2200mm Horizontal V groove
Wardrobe shelving:	MDF shelf and rail	Cupboard shelving:	MDF shelves x4
Door hardware:	Windsor Futura – Apex brushed nickel	Skirting board:	60mm bevel
Electrical:	As per plan	Heatpump:	As per Healthy Home Standards
Extractor:	Inline extractor fan	Hot water cylinder:	Rheem 250L
Carpet	Belgotex Urban Twist	Vinyl plank:	Belgotex Luxury Plank—Province
Splashback tiles:	100x300mm subway tile (Kitchen only)	Window coverings:	Windoware Austro roller blinds—Slate Excluding garage and bathrooms
Landscaping:			
Driveway and patio:	Exposed aggregate—sealed	Vehicle crossing:	Included
Soft landscaping:	As per plan	Fencing:	Boundary fencing as per developers requirements to all boundaries. Internal fencing including one gate.

Specification











Lot 523 Arbor Green, Stage 20, Springwood, Rolleston

Kitchen and Laundry:			
<p>Kitchen, bench surface and splashback:</p>	<p>Custom made Melteca or Bestwood finished cabinetry. TriStone 12mm benchtop on negative detail. Tiled splashback full length of back bench/wall.</p> <p>*Refer to plans and colour scheme</p>	<p>Kitchen sink:</p>	<p>Lazio NZLSS-5545 single stainless steel sink</p> 
<p>Kitchen tapware:</p>	<p>Greens Astro II Gooseneck Slim</p> 	<p>Kitchen handles:</p>	<p>Stefano Orlati 4062— Titanium</p> 
<p>Oven:</p>	<p>Bosch HBF133BSOA</p> 	<p>Ceramic cooktop:</p>	<p>Bosch PKE611K17A</p> 
<p>Rangehood:</p>	<p>Bosch DWB97DM50A</p> 	<p>Dishwasher:</p>	<p>Bosch SMU05D05AU</p> 
<p>Laundry tub:</p>	<p>Aquatica Laundra Studio</p> 	<p>Feature pendant:</p> <p>*dependent on supply, similar fitting to be used if unavailable</p>	<p>Staverton 1L—black</p> 



Specification

Lot 523 Arbor Green, Stage 20, Springwood, Rolleston

Bathrooms:			
Vanities:	Newtech Frank Plus 750mm 	Mirrors:	Polished edge direct fix—1000x750mm 
Showers:	Arena curved with moulded wall 	Toilets:	Newtech Casalino Back To Wall 
Bath:	Newtech Indus back-to-wall 1700mm 	Towel rails:	Newtech 5 bar square—heated 
Basin mixers:	Greens Astro II 	Shower / bath mixers:	Greens Astro II Round 
Shower slides:	Greens Glide Rainboost Adjustable 	Bath spout:	Greens Legacy 

Colour Scheme

Lot 523 Arbor Green, Stage 20, Springwood, Rolleston

Exterior:		Interior:	
Roof:	Titania	Ceilings:	Half black white
Fascia/ Gutter / Downpipes:	Titania	Walls:	Black white
Window joinery:	Titania	Interior doors:	Black white
Front door:	Titania	Skirting:	Black white
Front door frame:	Titania	Carpet:	Iron
Garage door:	Titania	Vinyl plank:	Natural
Garage door frame:	Titania	Kitchen cabinetry:	Simply white
Soffits:	Half black white	Feature kitchen/ negative detail:	Subtle grey velvet
Exterior cladding (Main):	Crevole with white mortar	Kitchen benchtop:	TriStone 12mm – Pure white
Exterior cladding (Abodo):	Vulcan Natural	Kitchen splashback:	White gloss with misty grey grout

Exterior:

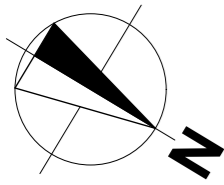


Interior:



Kitchen:





Site Info

Site Address	90 Monarch Drive Arbor Green
Legal Description	Lot 523 DP 603106
Site Area	436m ²
Building Area	172.55m ²
Roof Area*	214.75m ²
Site Coverage	49.25%
*Roof area includes fascia & gutter.	

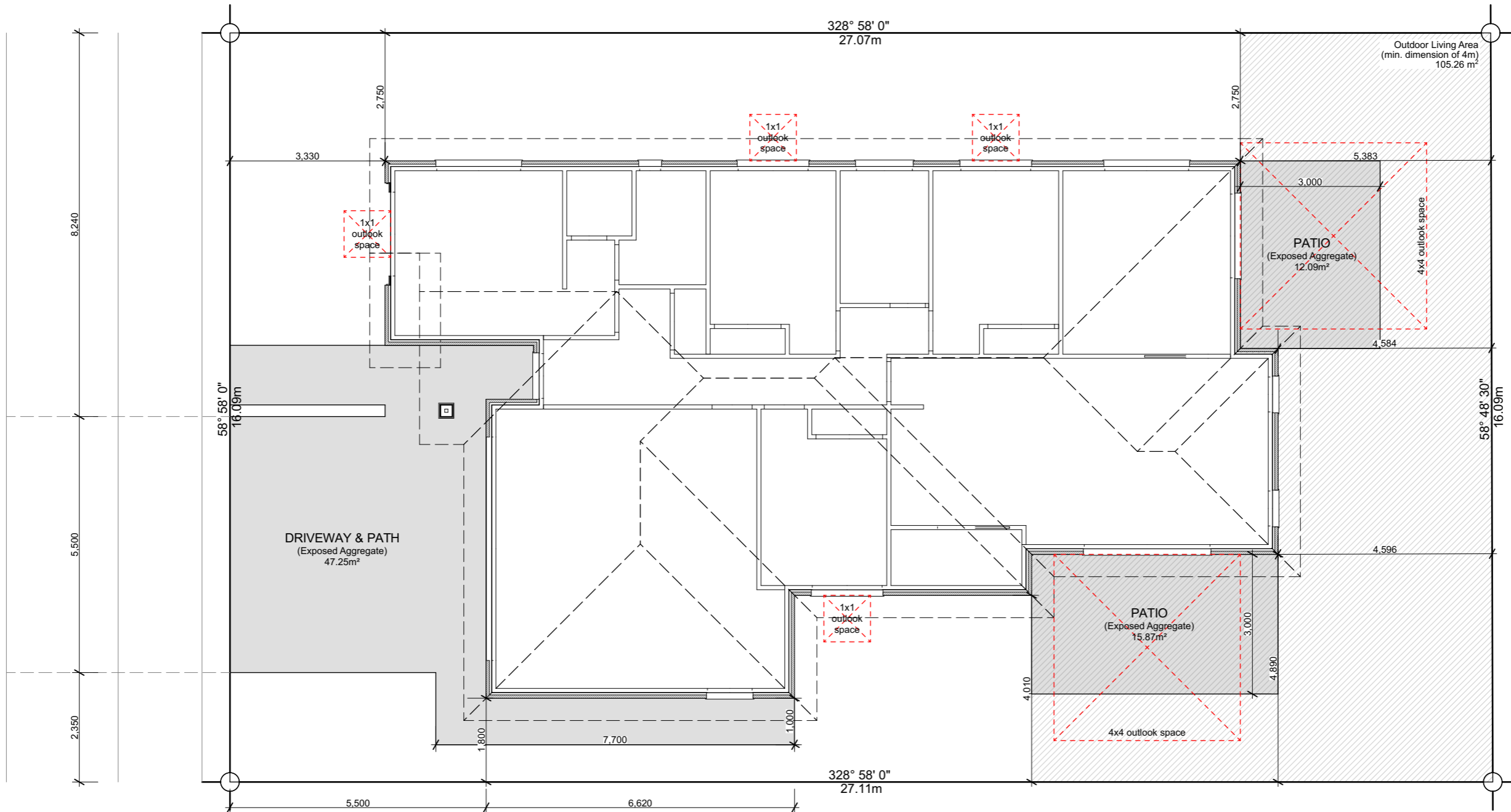
Design Basis

Wind Zone	High
Earthquake Zone	2
Snow Zone	N4 < 100m
Exposure Zone	C

General Notes

- All dimensions shown are to *face of foundation* unless noted otherwise.
- Refer to Foundation Plan for foundation setout.
- Refer to Drainage Plan for specific drainage info.
- Refer to Sediment Control in Specification & implement where required.
- All sealed driveway and patio areas to be min. 1:100 fall away from building.

MONARCH DRIVE



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P R O P E R T Y L T D
 LOT 523 ARBOR GREEN
 90 MONARCH DRIVE ROLLESTON

Issue
 Concept Design

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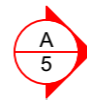
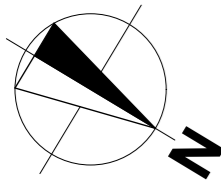
Site Plan

Scale 1:100 @ A3

Revision	2
Date	29/05/2024
File No.	24090 (ORH. 3199)

Sheet No.

1



Building Area

Over Frame	165.17m ²
Perimeter	62.50m
Over Cladding	172.55m ²
Perimeter	63.62m
Roof Area*	214.75m ²
Perimeter	65.98m

*Roof area includes fascia & gutter.

General

Main Cladding	70s Brick
Feature Cladding	Abodo Vulcan Shiplap WB (AW55)
Roof Pitch	25°
Roofing	Colorsteel Corrugate
Stud Height	2.42m
Interior Door	1.98m high
Wardrobe Door	2.20m high
Cooktop	Ceramic Cooktop

Note 1: Kitchen layout indicative only, refer to Kitchen Design for details.
Tint to w02 and w03

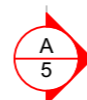
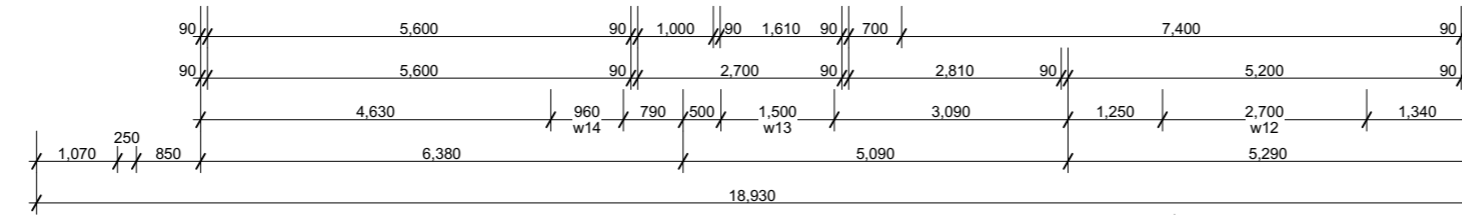
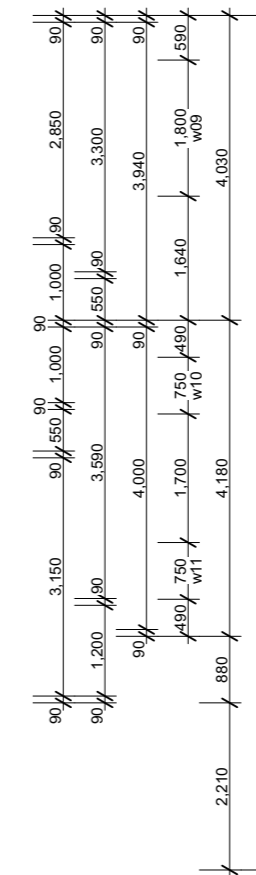
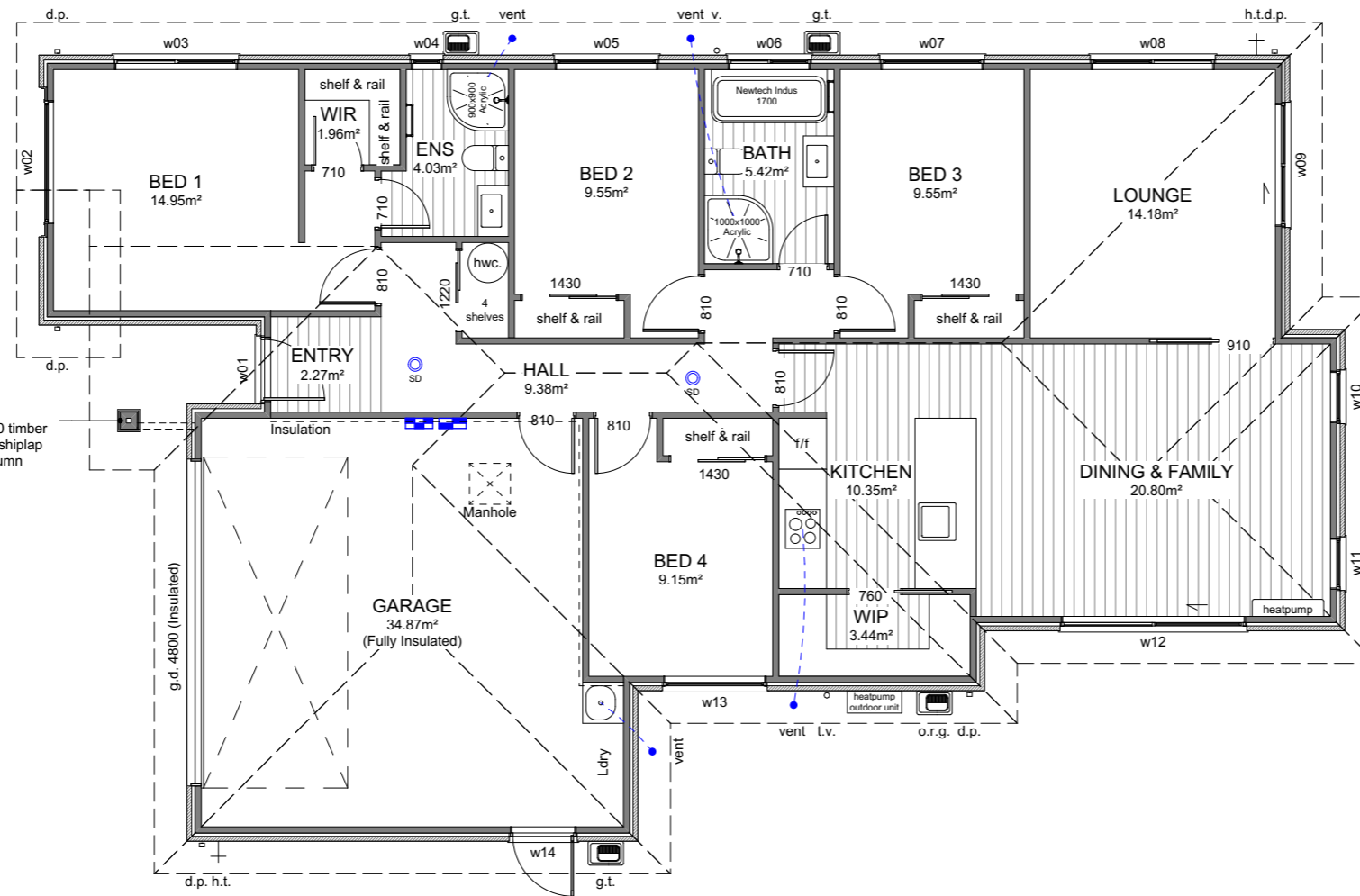
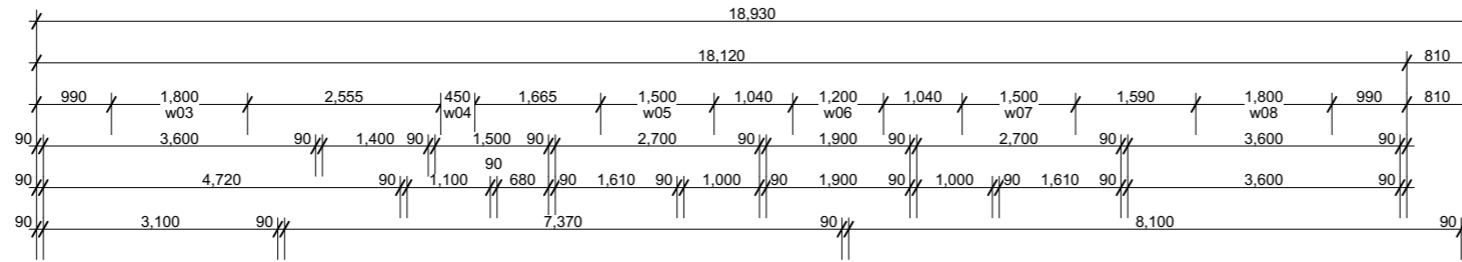
Legend

- Distribution Board & Smart Meter Box
- Data Box
- Smoke Detector with test and hush buttons to comply with NZBC F7/AS1

Floor Covering

- Carpet (excl. Garage)
- Vinyl Planks

WINDOW SCHEDULE		
ID	H	W
w01	2,130	960
w02	2,130	1,800
w03	600	1,800
w04	2,130	450
w05	1,400	1,500
w06	1,100	1,200
w07	1,400	1,500
w08	600	1,800
w09	2,130	1,800
w10	2,130	750
w11	2,130	750
w12	2,130	2,700
w13	1,400	1,500
w14	2,130	960



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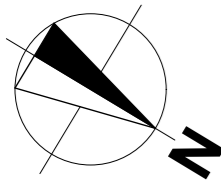
Floor Plan

Scale 1:100 @ A3

Revision 2
 Date 29/05/2024
 File No. 24090 (ORH. 3199)

Sheet No.

2



Roof Cladding

25° Colorsteel corrugate roofing over Thermakraft 215 roof underlay.

Fascia & Gutter

Colorsteel Quad gutter supported on 185mm Colorsteel fascia.

Downpipes

75x55mm Colorsteel downpipes with wall brackets.

Roof Penetrations

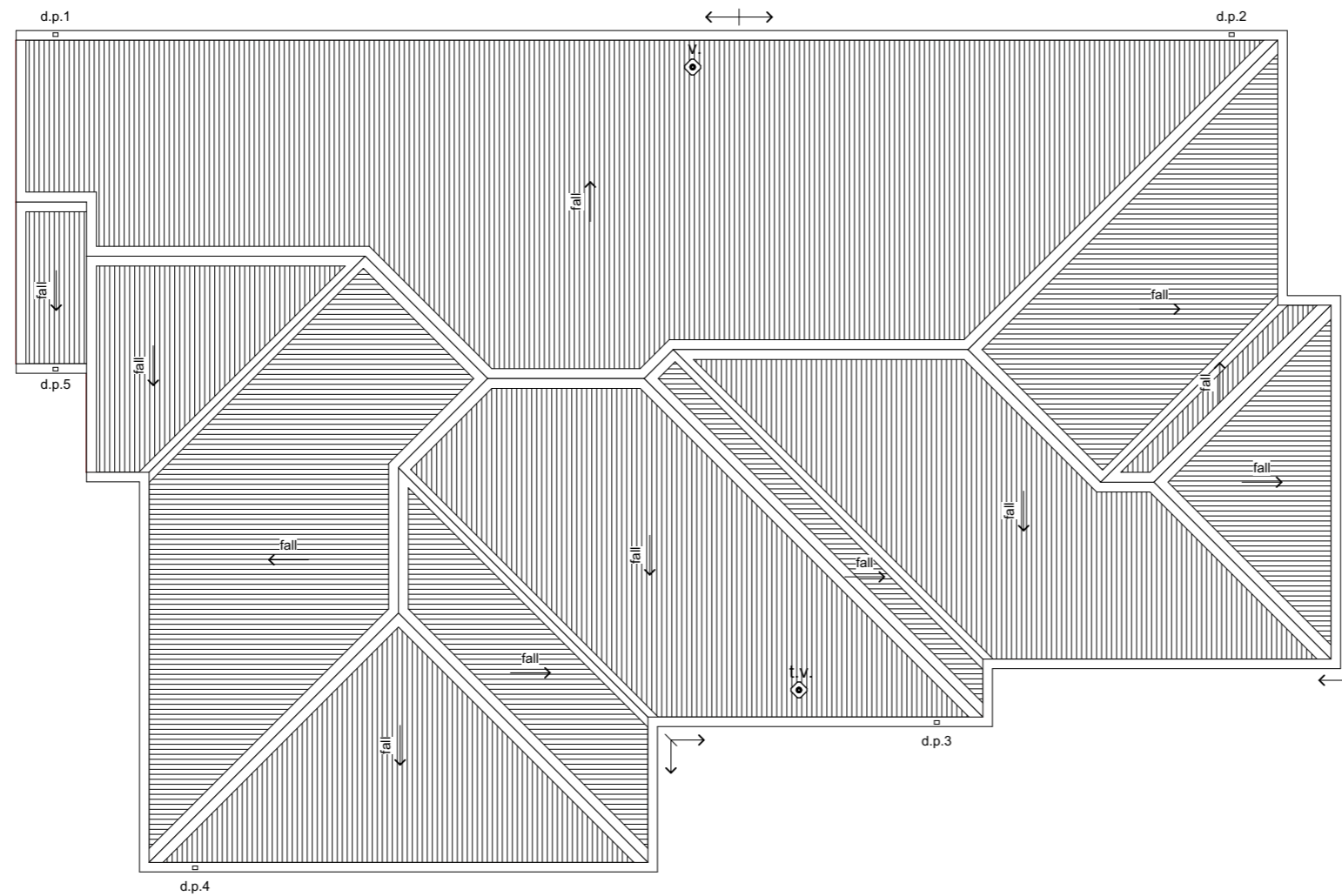
Seal all pipe penetrations with Deklite flashing kit as per specification.

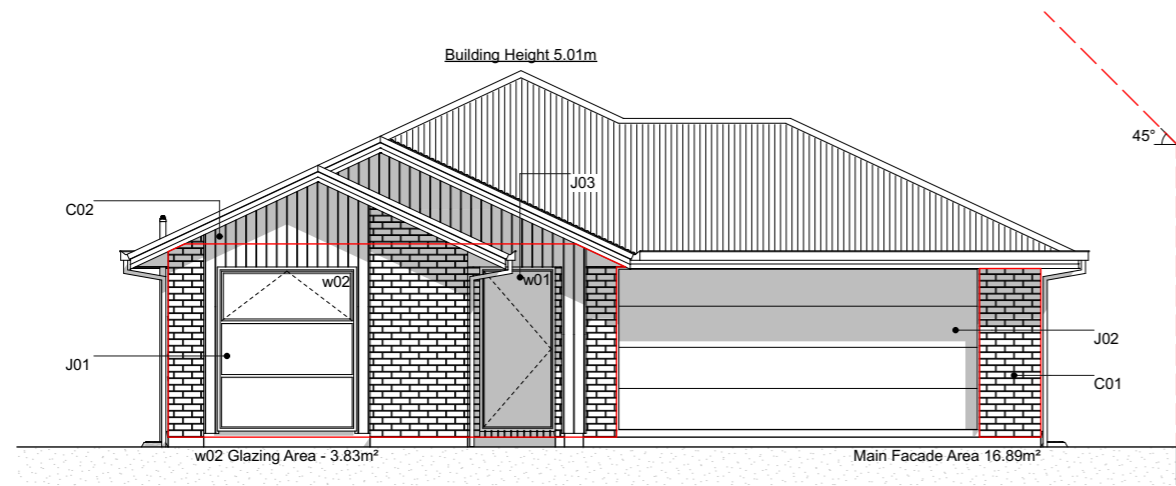
Downpipe Catchment (Plan Area)

d.p.1	44m ²
d.p.2	52m ²
d.p.3	52m ²
d.p.4	55m ²
d.p.5	4m ²

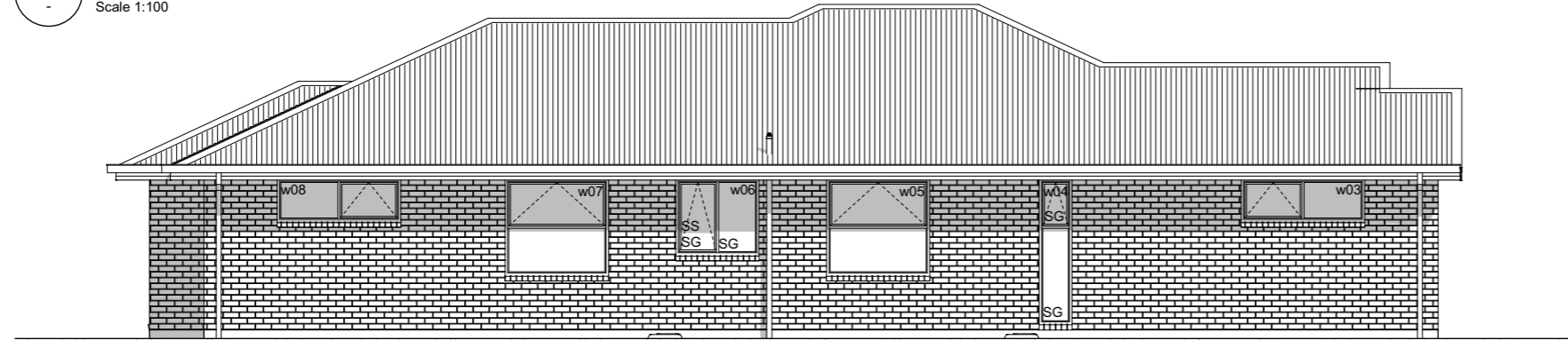
Roof Bracings

Refer to truss design.

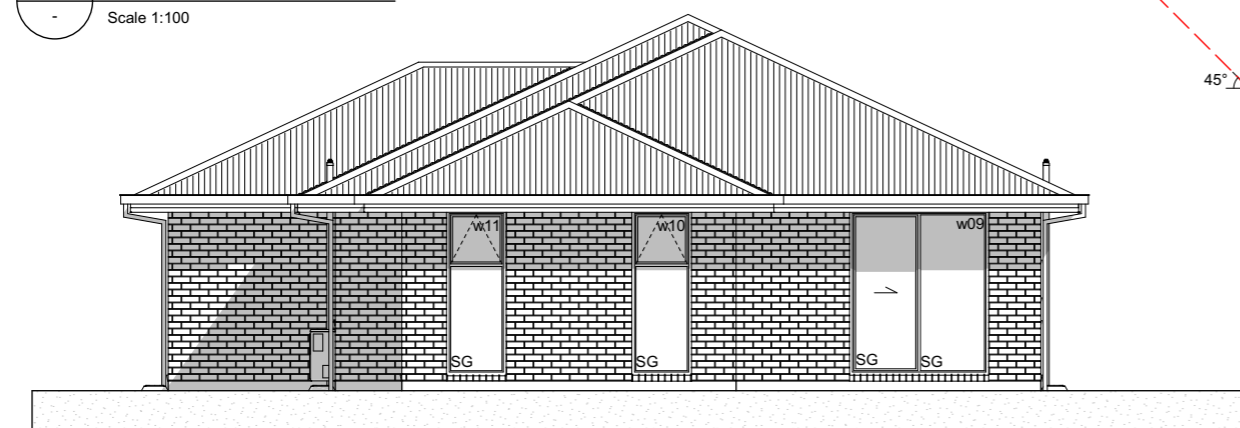




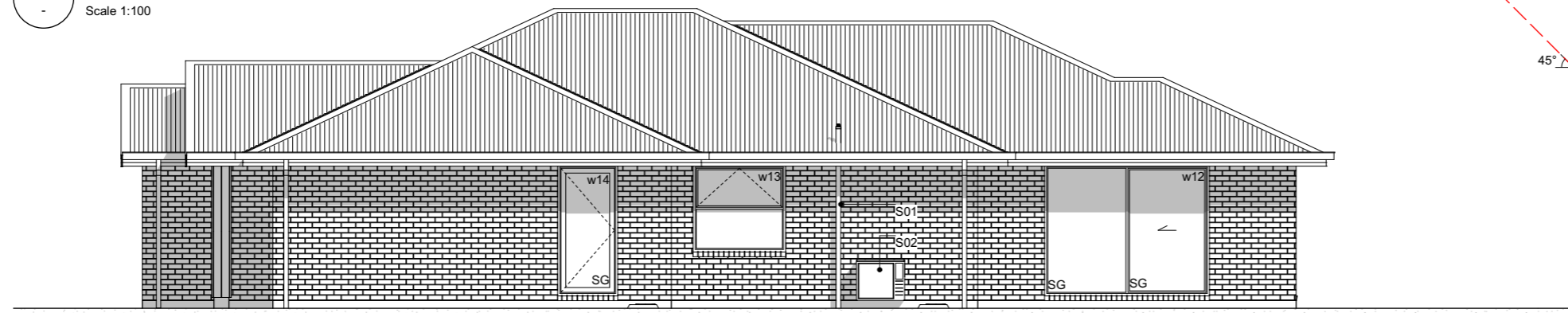
E-01 SouthEast Elevation
Scale 1:100



E-02 SouthWest Elevation
Scale 1:100



E-03 NorthWest Elevation
Scale 1:100



E-04 NorthEast Elevation
Scale 1:100

Elevation Keys

- C01 70 series brick veneer over 50mm cavity.
- C02 Abodo Vulcan shiplap weatherboard on 20mm horizontal castellated cavity battens.
- R01 Colorsteel corrugate roofing.
- R02 Colorsteel Quad gutter supported by Colorsteel 185mm fascia.
- R03 Colorsteel 75x55mm downpipes.
- J01 Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames.
- J02 Sectional garage door.
- J03 APL entry door in thermally-broken powder coated aluminium frames.
- S01 Drainage vent pipe.
- S02 Heatpump outdoor unit on wall bracket.

Legend

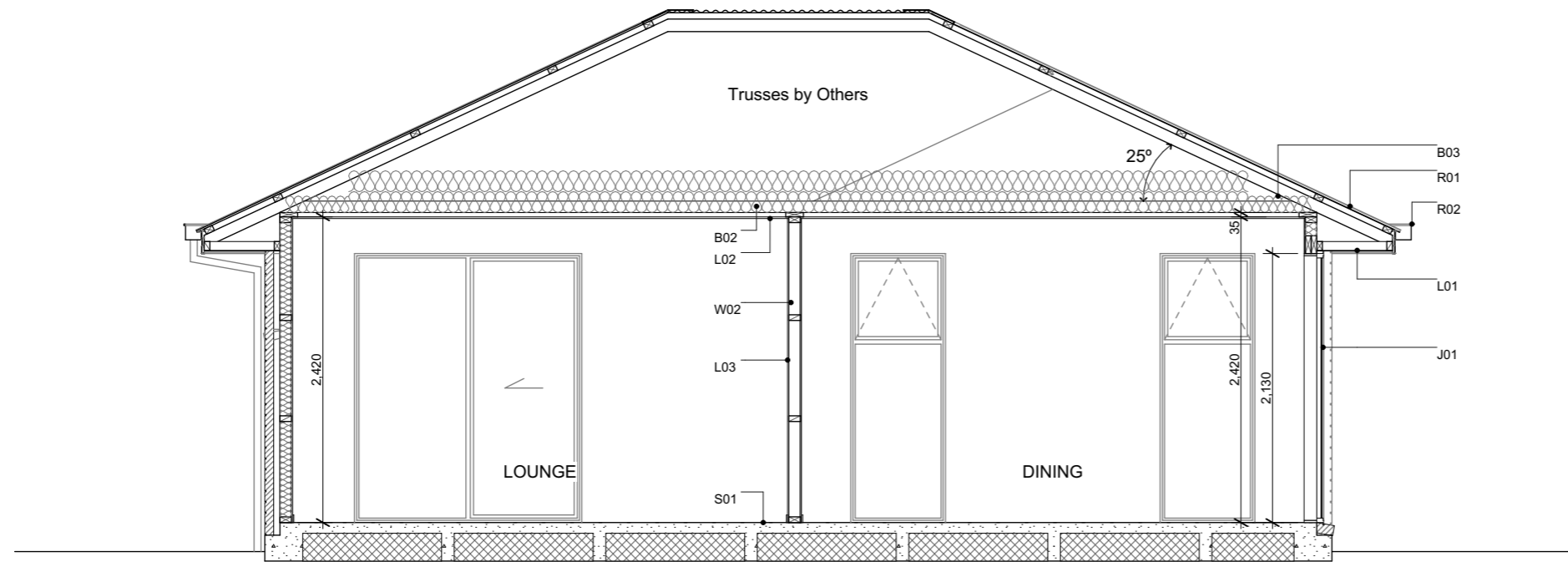
- w01 Window ID
- SS Security Stay
- SG Safety Glass

General Notes

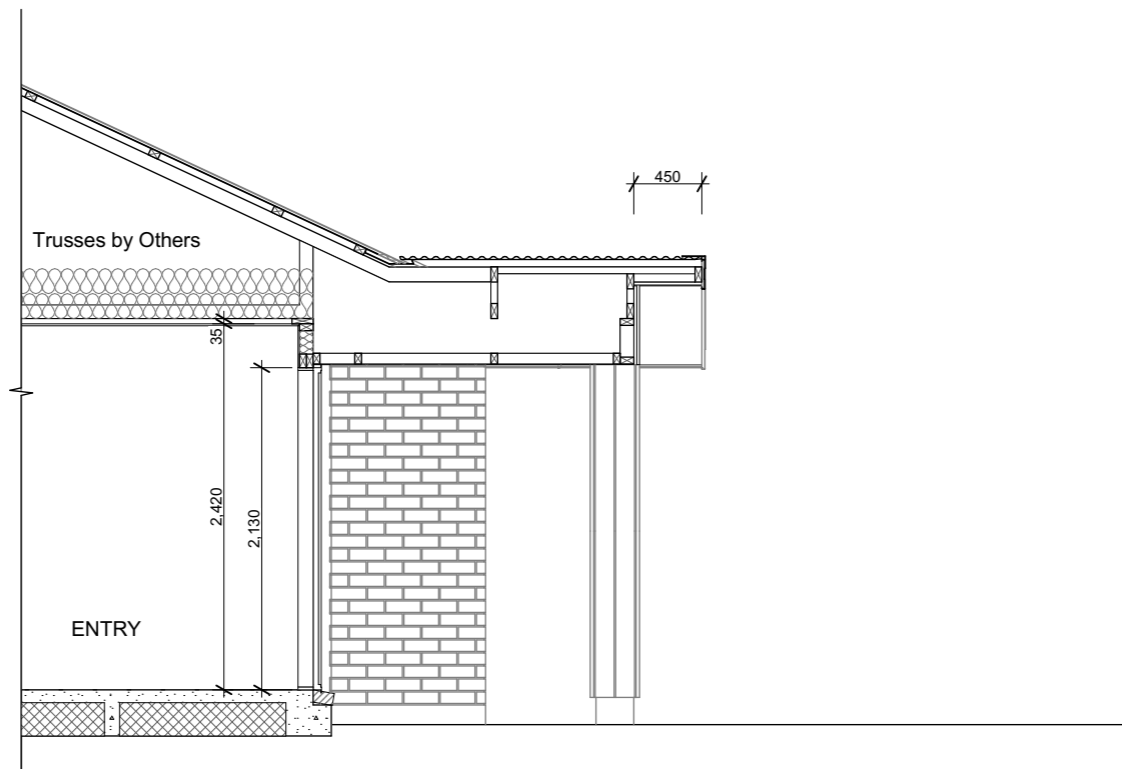
Driveway to fall from 20mm max. below garage rebate.

Section Keys

- C01 70 series brick veneer over 50mm cavity over building underlay on timber framing.
- C02 Abodo Vulcan shiplap weatherboard on 20mm horizontal castellated cavity battens over building underlay on timber framing.
- W01 External walls 90x45mm studs @ 600mm crs, dwangs @ 800mm crs (Dwangs @ 480mm crs for shiplap WB). Top plates 90x45 + 140x35mm.
- W02 Internal walls 90x45mm studs @ 600mm crs, dwangs @ 800mm crs.
- S01 Ribraft floor slab and foundation.
- T01 Roof trusses as per Truss Design.
- R01 Colorsteel corrugate roofing over self-supported roof underlay on 70x45mm purlins on trusses.
- R02 Colorsteel Quad gutter on Colorsteel fascia.
- R03 75x55mm Colorsteel downpipes with wall brackets.
- J01 Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames. H3.1 timber reveals for painted finish.
- J02 Sectional garage door. H3.1 timber reveals for painted finish.
- B01 R2.6 wall insulation batts.
- B02 2 x R3.6 (165mm) double layer ceiling insulation batts.
- B03 R3.6 (130mm x 1200mm) Gutter Line insulation batts cut to size between the trusses and fit at the first 500mm from the centre of top plate. Maintain 25mm ventilation gap between top of insulation and roofing underlay.
- L01 4.5mm soffit linings for painted finish.
- L02 13mm Gib ceiling linings supported by 35mm Rondo ceiling battens direct fixed @ 600mm crs. Stopped smooth for painted finish. (Wet area ceiling 13mm Gib Aqualine)
- L03 10mm Gib wall linings stopped smooth for painted finish. (Wet area wall 10mm Gib Aqualine)



A Section A-A
Scale 1:50



B Section B
Scale 1:50



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Cross Sections

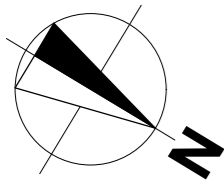
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Revision 2
Date 29/05/2024
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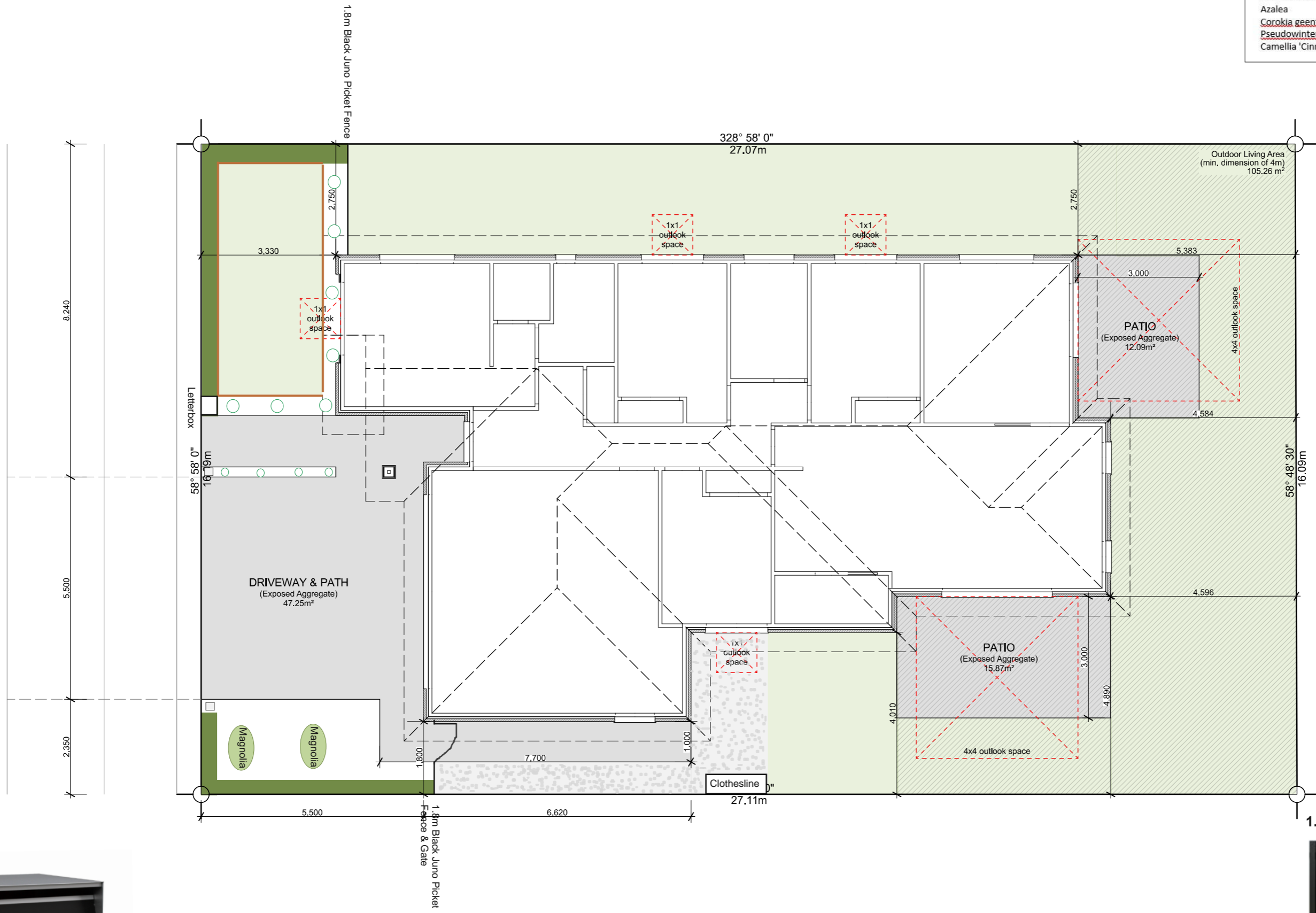
5

Note: Look at the Arbor Green Design Guide for Macrocarpa post specifications



- The landscaper will use an assortment of plants from the list below:
- Agapanthus Peter Pan - Dwarf blue Nile lily
 - Acacia Limelight - Dwarf wattle
 - Choisya Ternata - Mexican orange blossom
 - Carex Secta - Makura sedge
 - Lavandula angustifolia 'Hidcote' - English Lavender
 - Pittosporum little gem
 - Thuja occidentalis Smaragd - Emerald Cedar
 - Viburnum tinus Eve Price
 - Azalea
 - Corokia geentys green
 - Pseudowintera colorata 'Red Leopard' - Horopito/Pepper tree
 - Camellia 'Cinnamon Cindy'

MONARCH DRIVE



Legend

- Portuguese Laurel - Hedge
To be a min of 800 mm high at time of planting and a max of 600mm apart (stem to stem)
- Grass
- Garden bed with bark
- Stonechip
- Timber batten edging
- 2.5m high (at time of planting) Magnolia Tree - within 2m of road frontage
- Macrocarpa posts 200 x 200 with capping, supplied by Arbor Green. To be installed by Oakridge Homes. Mulseal and concrete encase posts, set back 900mm from road boundary and set off the driveway edge by 200mm



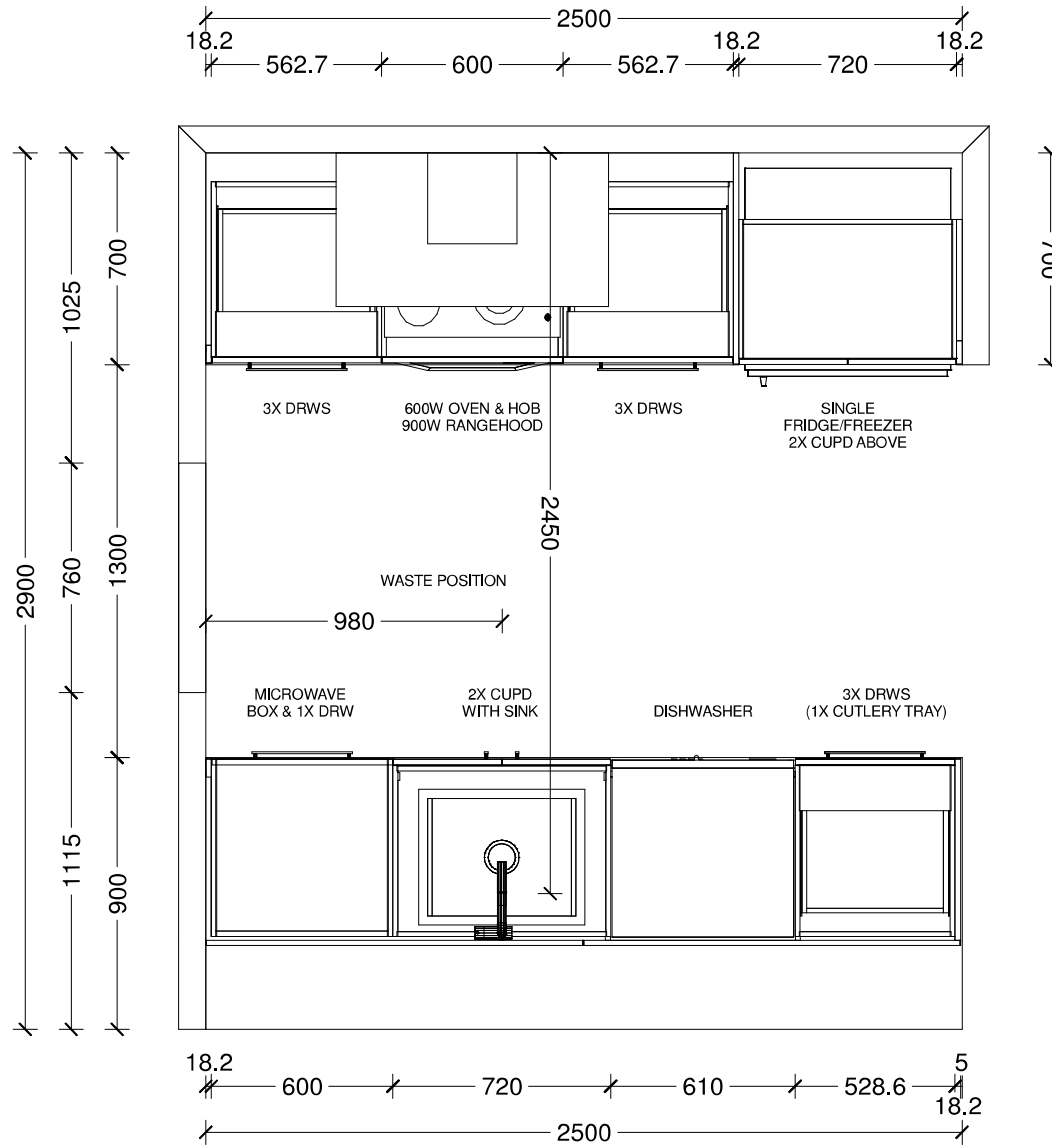
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Landscape Plan
Scale 1:100 @ A3

1.8m Juno Picket Panel Fence in Black

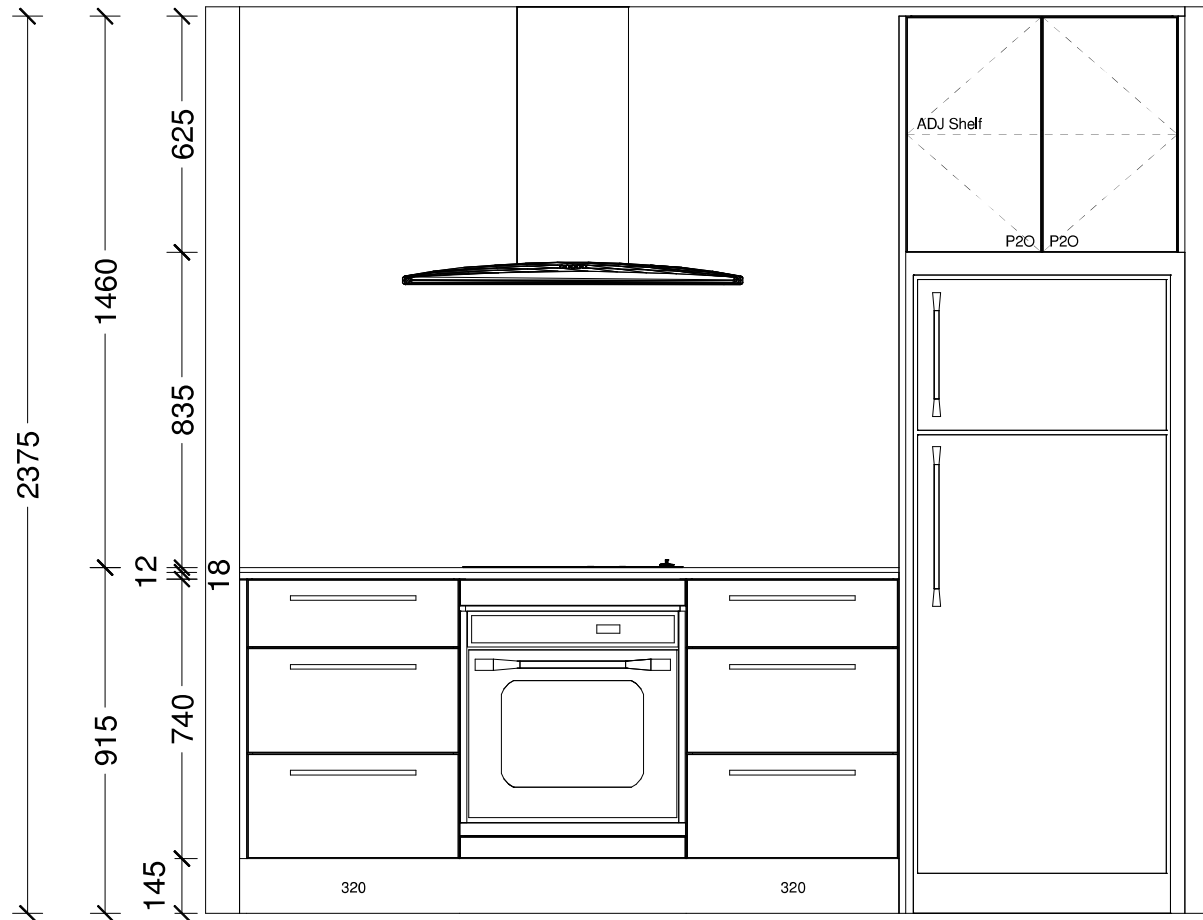




Benchtop Colour:
12mm square edge Tristone in Pure White
Back Wall Joinery Colour:
Bestwood Simply White Embossed
Island Joinery Colour:
Bestwood Subtle Grey Velvet
Negative Detail Joinery Colour:
Bestwood Subtle Grey Velvet
Handles:
4062-192/320-Titanium Grey
Sink:
Lazio NZLSS-5545 Stainless Single Bowl

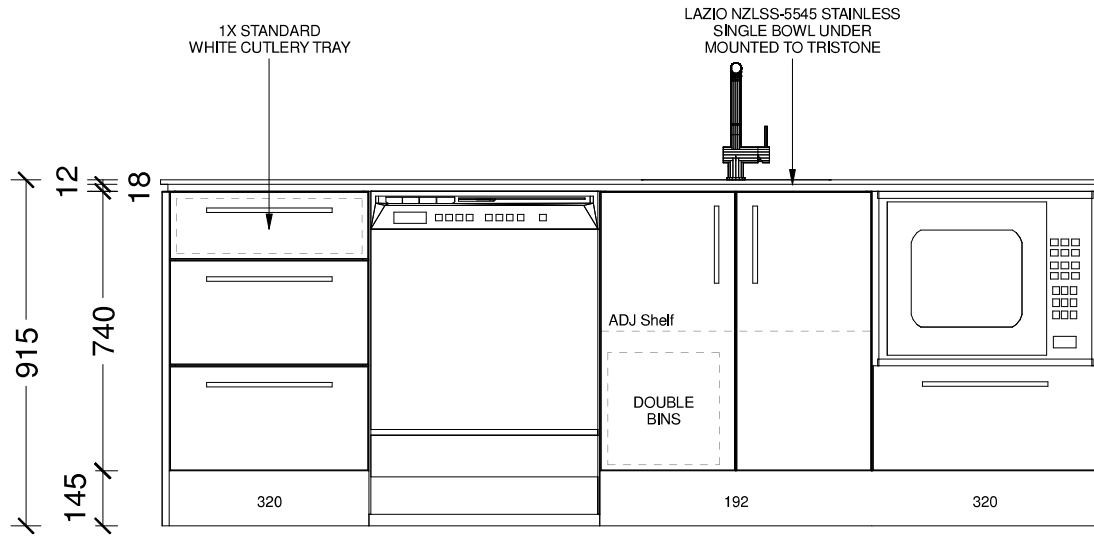
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Dwg: Kitchen Plan	Scale: 1 : 25	Customer: The Clover			





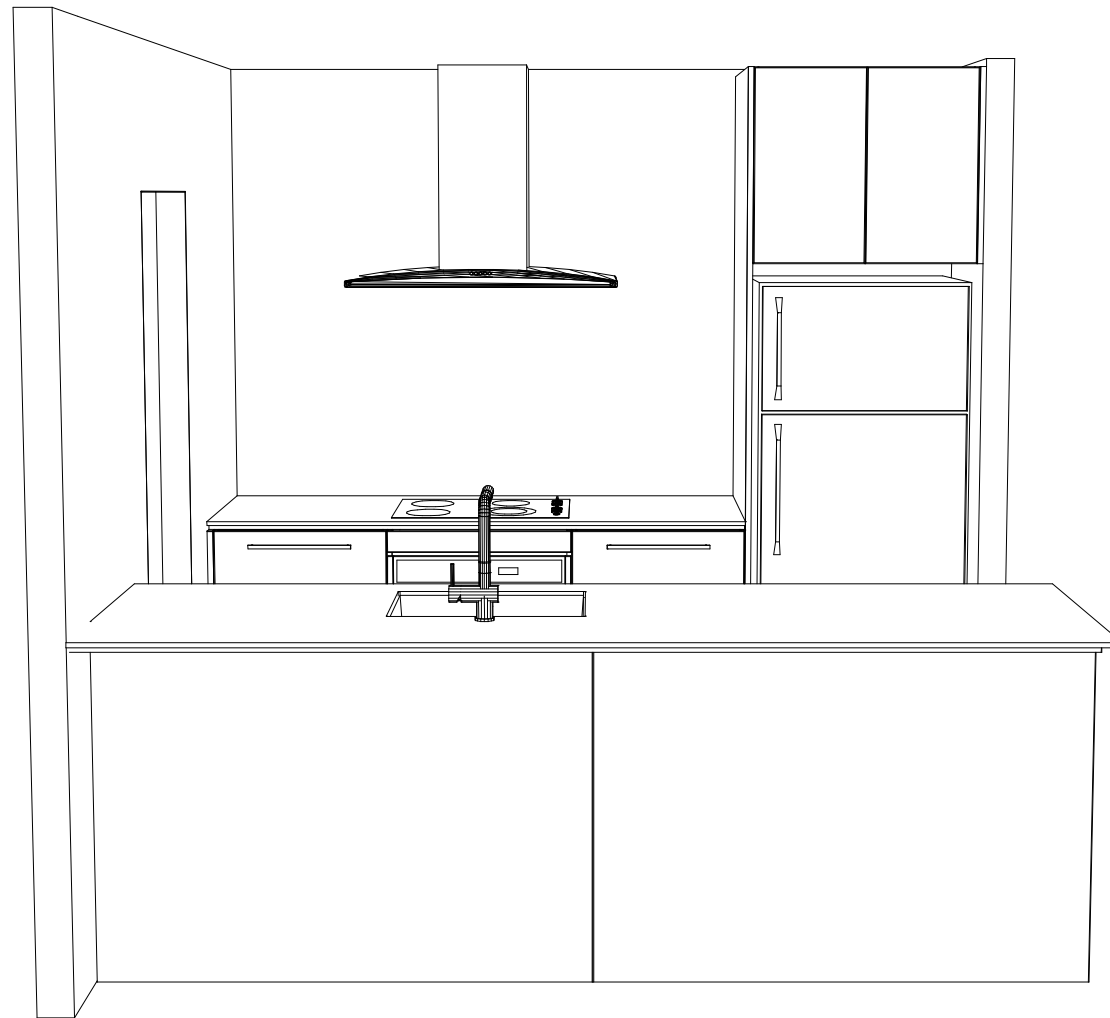
Designer: Sarah Molyneux	Date: 07 Nov 23	Client: Oakridge Homes	BC Ref: Job	Site Address:	Job#: Default	
Dwg: Kitchen Elevation	Scale: 1 : 20	Customer: The Clover				

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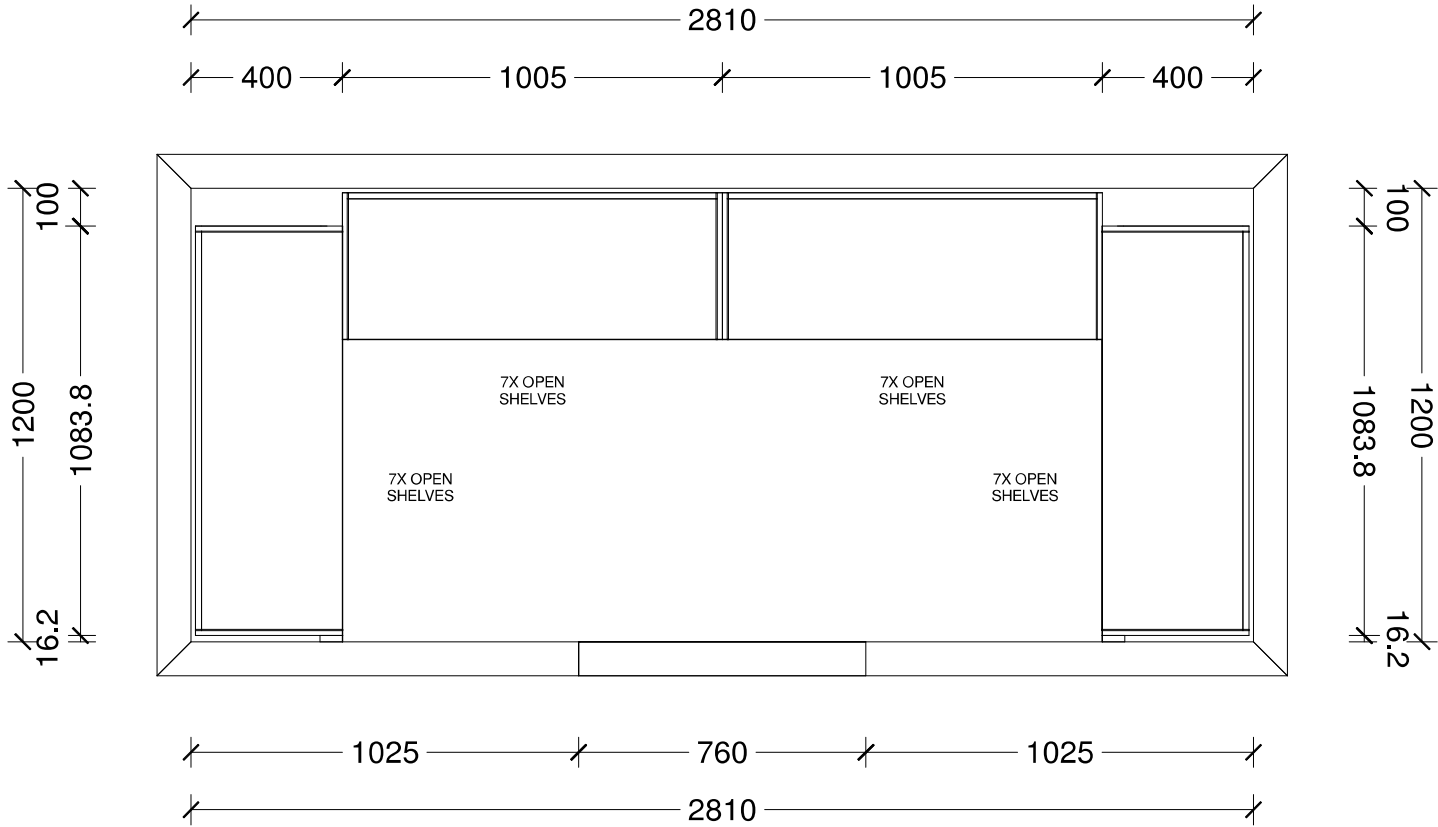
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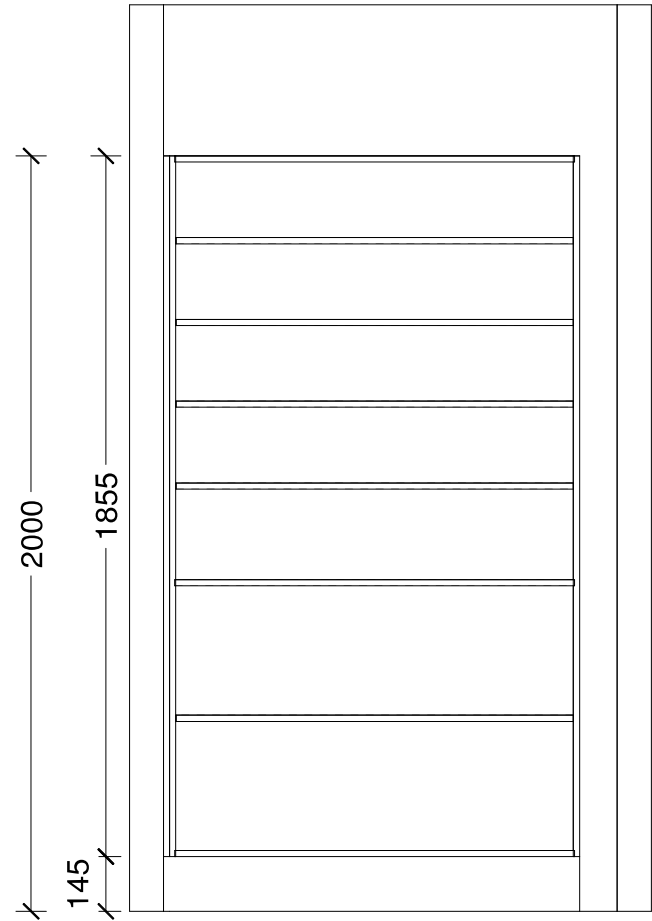
Designer: Sarah Molyneux	Date: 07 Nov 23	Client: Oakridge Homes	BC Ref: Job	Site Address:	Job#: Default	
Dwg: Kitchen 3D Perspective	Scale:	Customer: The Clover				

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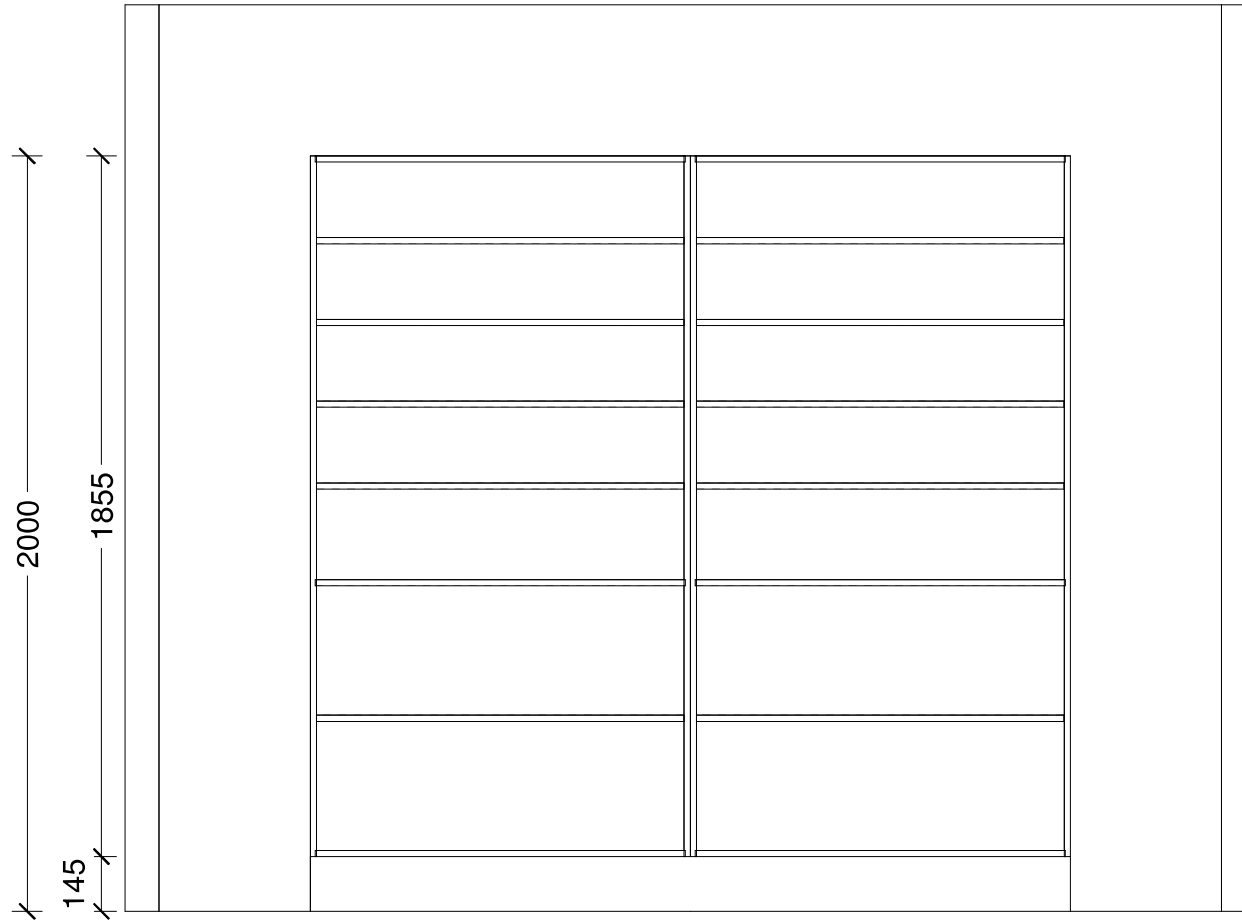
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Dwg: Pantry Plan	Scale: 1 : 20	Customer: The Clover				

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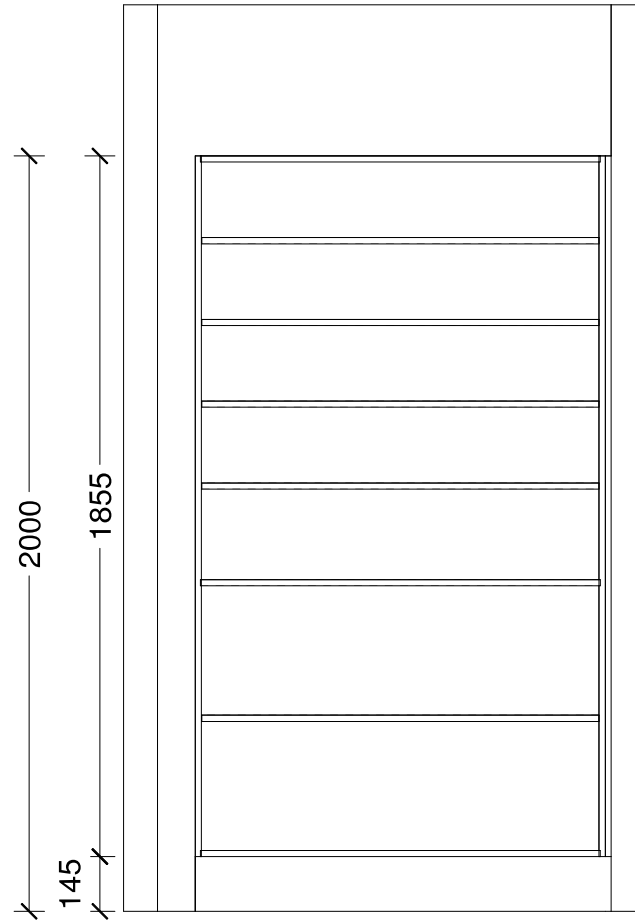
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Dwg: Pantry Elevation	Scale: 1 : 20	Customer: The Clover				

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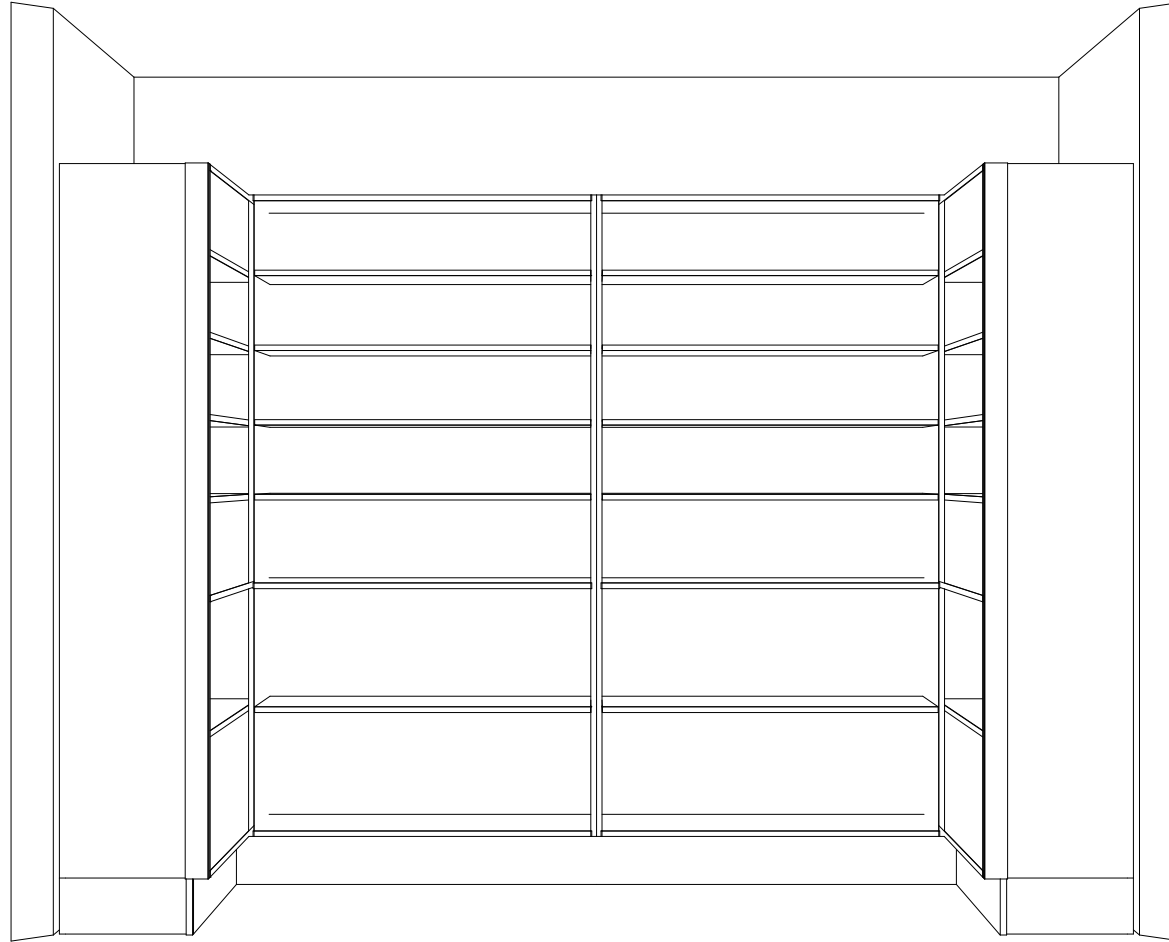
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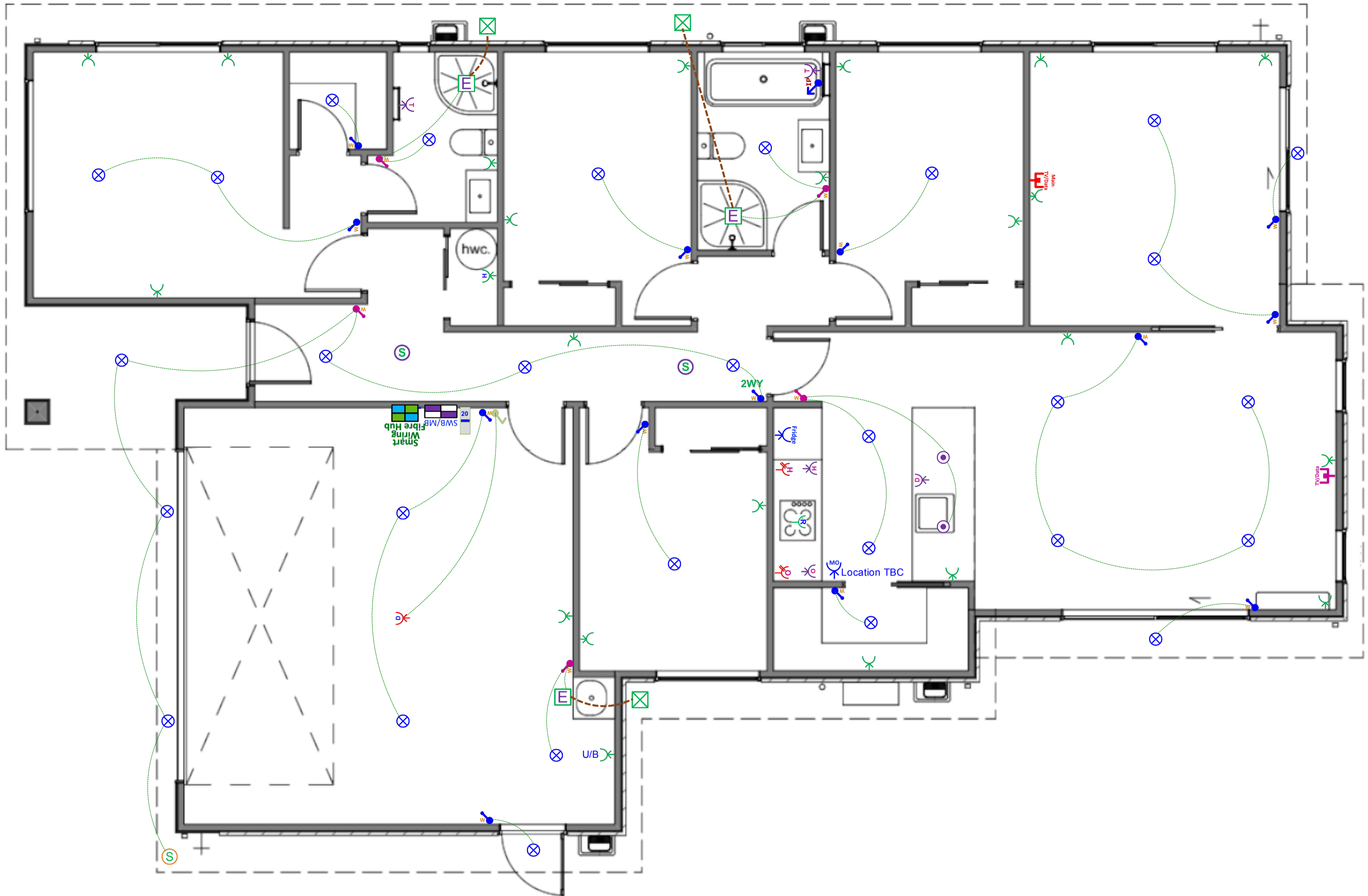
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Dwg: Pantry 3D Perspective	Scale:	Customer: The Clover				






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Plan: The Clover Modified (Garage Right) - Electrical Design

Electrical		
Item		Total
 Electrical Base with 34-Way Deep Combined Meter Switchboard (Single Phase)		1 EA
 Tradesave Rangehood Power Socket		1 EA
 Tradesave Slim Single Power Socket (White) 10A - Fridge		1 EA
 Tradesave Slim Single Power Socket (White) 10A - Microwave		1 EA
 Tradesave Double Power Socket Horizontal (White) 10A		22 EA
 Tradesave Slim Double Power Socket with Oven Isolator Switch (White) 10A		1 EA
 Tradesave Slim Double Power Socket with Hob Isolator Switch (White) 10A		1 EA
 Tradesave Built-In Oven Hard-Wired Power Connection up to 20A (max)		1 EA
 Tradesave Slim Electric Hob Hard-Wired Power Connection up to 32A (max)		1 EA
 Tradesave Slim Dishwasher Power Socket		1 EA
 Tradesave Garage Door Opener Press Button (White)		1 EA
 Tradesave Slim Garage Door Power Socket		1 EA
 Tradesave Slim Hot Water Cylinder Hard-Wired Power Connection		1 EA
 Air Conditioning Circuit 20A MCB Installation For Heat Pump Circuit		1 EA
 Smoke Detector Alarm - 230v Mains powered with 9V battery backup		2 EA
 Tradesave Slim Heated Towel Rail Circuit & Installation (Excludes supply of Towel Rail)		2 EA
 Extractor Fan Inline 150mm & up to 6m of duct		3 EA
 Extractor Fan External Grill (White)		3 EA
 External 180-Degree Lighting Movement Sensor (White)		1 EA
 Recessed LED Downlight Prolux DL54 (3k Warm White) with White Fascia & Circuit		29 EA
 Staverton Black 1L 365mm Pendant Light, LED Lamp & Circuit		2 EA
 Tradesave Slim Light Switch 1-Gang (White)		13 EA
 Tradesave Slim Light Switch 2-Gang (White)		5 EA

Electrical

	Item	Total
	Excel Life White IP Rated Light Switch 1 Gang	1 EA
	2-Way Light Circuit	1 EA
	Smart Wiring Base 20" Hub 12 Port with Fibre Optic Pathway and Power Circuit	1 EA
	Tradesave Slim UHF TV/Data Network Socket (Cat6) - White	1 EA
	Tradesave Slim Main UHF TV/Data Network Socket (Cat6) - White	1 EA