

House and Land Package

Lot 525 Arbor Green, Stage 20,
Springwood, Rolleston

Dwelling
Size

159m²

Section
Size

437m²

\$775,900



4



1



2



2



Artist Impression Only—Refer to Concept Plans

Family sized home featuring four bedrooms, master with ensuite and walk-in robe, open plan kitchen living and dining with walk-in pantry, family bathroom and internal access garaging. Well appointed for the sun on a fully landscaped section, offering quality fixtures and fittings throughout.

Just twenty minutes from Christchurch, Rolleston has so much to offer. You are spoilt for choice within New Zealand's fastest growing community. Offering retailers, eateries, parks and reserves along with a newly established primary school and Rolleston college in close proximity. Only a short drive to central Rolleston with a shopping complex to cater all requirements.



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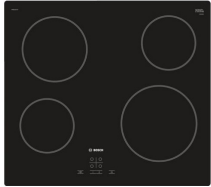




Specification

Lot 525 Arbor Green, Stage 20, Springwood, Rolleston

General:			
Guarantee:	10 year Masterbuild	Insurance:	Builders All Risk
Warranty:	365 day from settlement	Utilities:	Mains supply including fibre
Dwelling Exterior:			
Foundation:	TC1 RibRaft	Framing / trusses:	2.42m NZ5S 3602:2003 with building wrap / kiln dried pine
Roofing:	10° longrun corrugate	Fascia and gutter:	Dimond metal fascia and quad gutter
Downpipes:	Colorsteel 75x55 rectangular	Main cladding:	The Brickery 70 Series—Brick
Feature cladding:	Abodo AW55 135x18	Entry door:	Thermally-Broken APL 860mm Latitude with urbo lever
Window joinery:	Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames	Garage door:	Insulated Coloursteel flat panel wood-grain 4.5m
Dwelling Interior:			
Insulation:	As per Building Code. Including entire garage envelope - internal & external walls	Plasterboard:	Plasterboard - 10mm to walls, wet area to bathrooms and 13mm to ceilings
Gib stopping:	Grade 4 paint finish in accordance with AS/NZ 2311:2009	External corners:	Square stop
Hinged doors:	1980mm Straten (horizontal V groove polycore—2 line)	Wardrobe sliders:	2200mm Horizontal V groove
Wardrobe shelving:	MDF shelf and rail	Cupboard shelving:	MDF shelves x4
Door hardware:	Windsor Futura – Apex brushed nickel	Skirting board:	60mm bevel
Electrical:	As per plan	Heatpump:	As per Healthy Home Standards
Extractor:	Inline extractor fan	Hot water cylinder:	Rheem 250L
Carpet	Belgotex Urban Twist	Vinyl plank:	Belgotex Luxury Plank—Province
Splashback tiles:	100x300mm subway tile (Kitchen only)	Window coverings:	Windoware Austro roller blinds—Slate Excluding garage and bathrooms
Landscaping:			
Driveway and patio:	Exposed aggregate—sealed	Vehicle crossing:	Included
Soft landscaping:	As per plan	Fencing:	Boundary fencing as per developers requirements to all boundaries. Internal fencing including one gate.











Specification

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Kitchen and Laundry:			
Kitchen, bench surface and splashback:	Custom made Melteca or Bestwood finished cabinetry. TriStone 12mm benchtop on negative detail. Tiled splashback full length of back bench/wall. *Refer to plans and colour scheme	Kitchen sink:	Lazio NZLSS-5545 single stainless steel sink 
Kitchen tapware:	Greens Astro II Gooseneck Slim 	Kitchen handles:	Stefano Orlati 4062— Titanium 
Oven:	Bosch HBF133BSOA 	Ceramic cooktop:	Bosch PKE611K17A 
Rangehood:	Bosch DWB97DM50A 	Dishwasher:	Bosch SMU05D05AU 
Laundry tub:	Aquatica Laundra Studio 	Feature pendant: *dependent on supply, similar fitting to be used if unavailable	Staverton 1L—black 

Specification

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Bathrooms:			
Vanities:	Newtech Frank Plus 750mm 	Mirrors:	Polished edge direct fix—1000x750mm 
Showers:	Arena curved with moulded wall 	Toilets:	Newtech Casalino Back To Wall 
Bath:	Newtech Indus back-to-wall 1700mm 	Towel rails:	Newtech 5 bar square—heated 
Basin mixers:	Greens Astro II 	Shower / bath mixers:	Greens Astro II Round 
Shower slides:	Greens Glide Rainboost Adjustable 	Bath spout:	Greens Legacy 

Colour Scheme

Lot 525 Arbor Green, Stage 20, Springwood, Rolleston

Exterior:		Interior:	
Roof:	Ebony	Ceilings:	Half black white
Fascia/ Gutter / Downpipes:	Ebony	Walls:	Black white
Window joinery:	Ebony	Interior doors:	Black white
Front door:	Ebony	Skirting:	Black white
Front door frame:	Ebony	Carpet:	Iron
Garage door:	Ebony	Vinyl plank:	Natural
Garage door frame:	Ebony	Kitchen cabinetry:	Simply white
Soffits:	Half black white	Feature kitchen/ negative detail:	Subtle grey velvet
Exterior cladding (Main):	Karekare with charcoal mortar	Kitchen benchtop:	TriStone 12mm – Pure white
Exterior cladding (Abodo):	Vulcan Natural	Kitchen splashback:	White gloss with misty grey grout

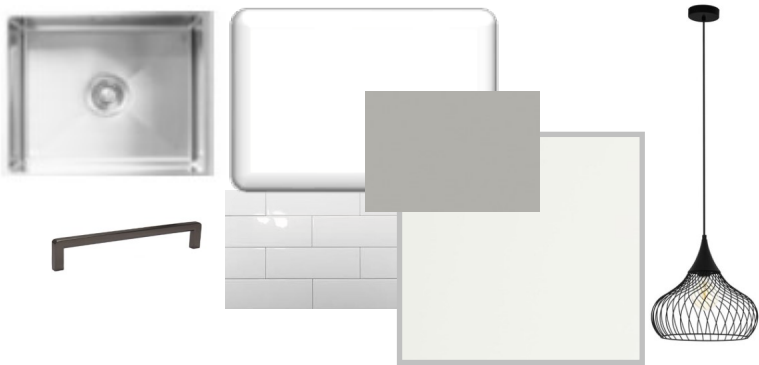
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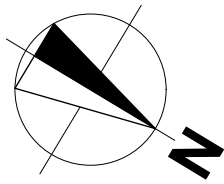


Interior:



Kitchen:





Site Info

Site Address	Monarch Drive Arbor Green
Legal Description	Lot 525 DP 603106
Site Area	437m ²
Building Area	159.24m ²
Roof Area*	186.62m ²
Site Coverage	42.70%

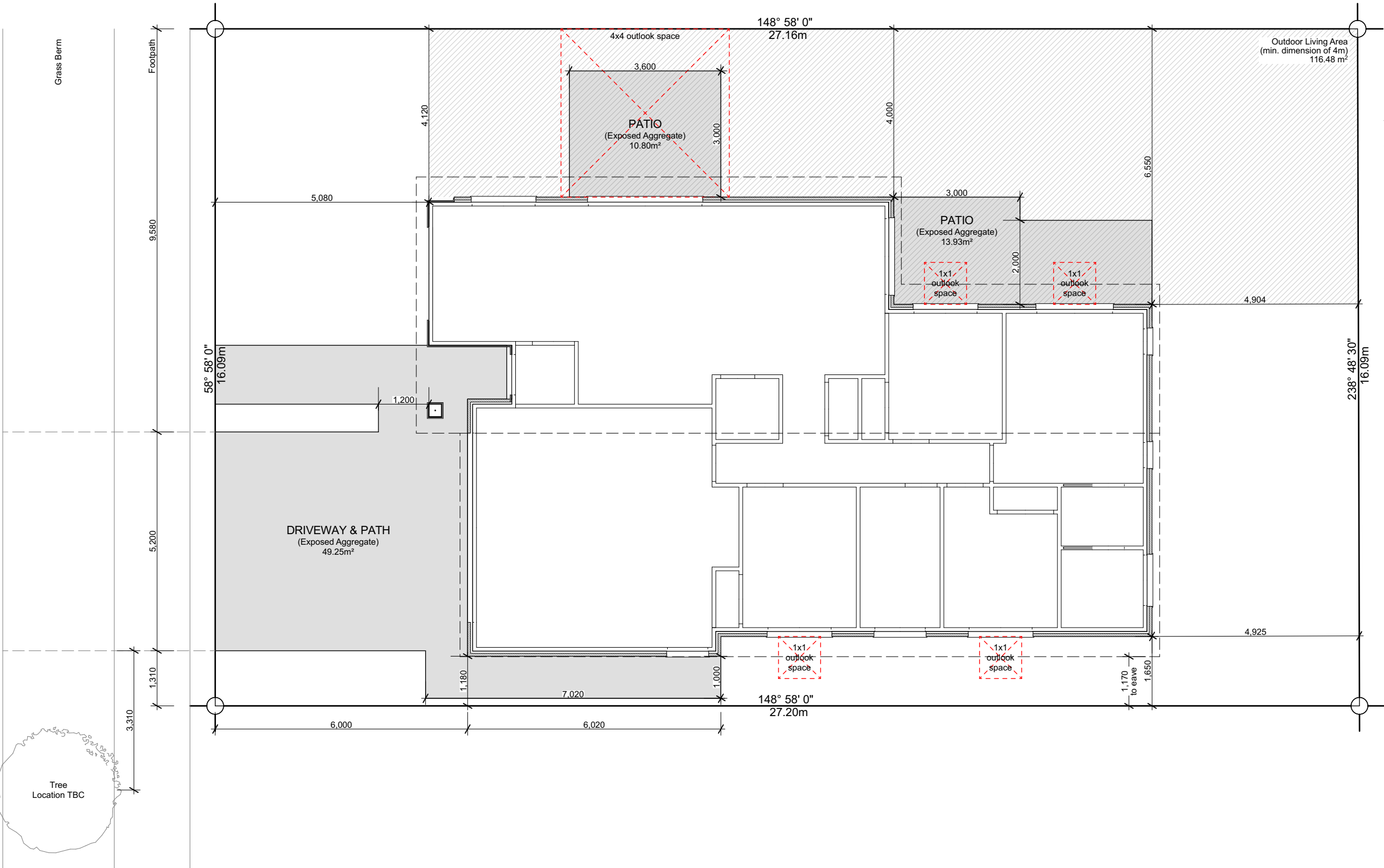
Design Basis

Wind Zone	High
Earthquake Zone	2
Snow Zone	N4 < 100m
Exposure Zone	C

General Notes

- All dimensions shown are to face of foundation unless noted otherwise.
- Refer to Foundation Plan for foundation setout.
- Refer to Drainage Plan for specific drainage info.
- Refer to Sediment Control in Specification & implement where required.
- All sealed driveway and patio areas to be min. 1:100 fall away from building.
- Site boundaries, bearings and north point subject to final title plan.

MONARCH DRIVE



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Issue
Concept Design

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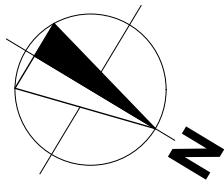
Site Plan

Scale 1:100 @ A3

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Sheet No.

1



Building Area

Over Frame	152.80m ²
Perimeter	57.34m
Over Cladding	159.13m ²
Perimeter	58.30m
Roof Area*	186.62m ²
Perimeter	58.90m

*Roof area includes fascia & gutter.

General

Main Cladding	70s Clay Bricks
Feature Cladding	Abodo Vulcan Shiplap WB (AW55)
Roof Pitch	10°
Roofing	Colorsteel Corrugate
Stud Height	2.42m
Interior Door	1.98m high
Wardrobe Door	2.20m high
Cooktop	Ceramic Cooktop

Note: Kitchen layout indicative only, refer to Kitchen Design for details.

Legend

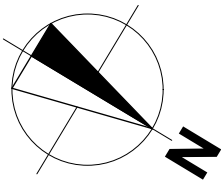
	Distribution Board & Smart Meterbox
	Data Box
	Smoke Detector with test and hush buttons to comply with NZBC F7/AS1

Floor Covering

	Carpet (excl. Garage)
	Vinyl Planks

WINDOW SCHEDULE		
ID	H	W
w01	2,130	960
w02	800	2,200
w02a	800	2,200
w03	1,400	1,500
w04	2,130	2,700
w05	2,130	1,800
w06	1,400	1,500
w07	2,130	1,800
w08	1,400	600
w09	1,400	600
w10	1,100	1,200
w11	1,400	1,500
w12	1,100	1,200
w13	1,400	1,500
w14	2,130	960





Roof Cladding

25° Colorsteel corrugate roofing over
Thermakraft 215 roof underlay.

Fascia & Gutter

Colorsteel Quad gutter supported on 185mm
Colorsteel fascia.

Downpipes

75x55mm Colorsteel downpipes with wall
brackets.

Roof Penetrations

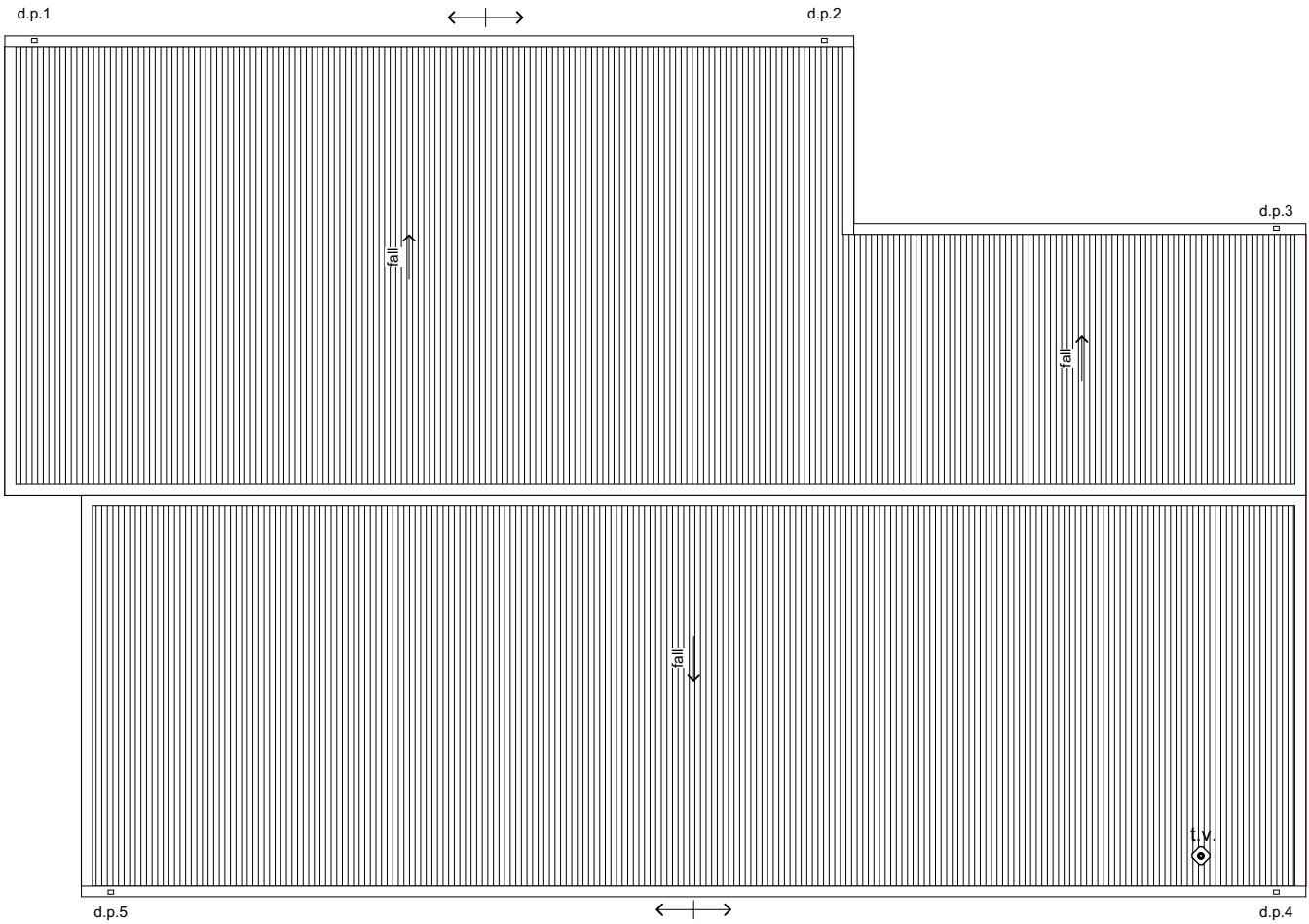
Seal all pipe penetrations with Dektite
flashing kit as per specification.

**Downpipe Catchment
(Plan Area)**

d.p.1	40m ²
d.p.2	31m ²
d.p.3	22m ²
d.p.4	44m ²
d.p.5	44m ²

Roof Bracings

Refer to truss design.



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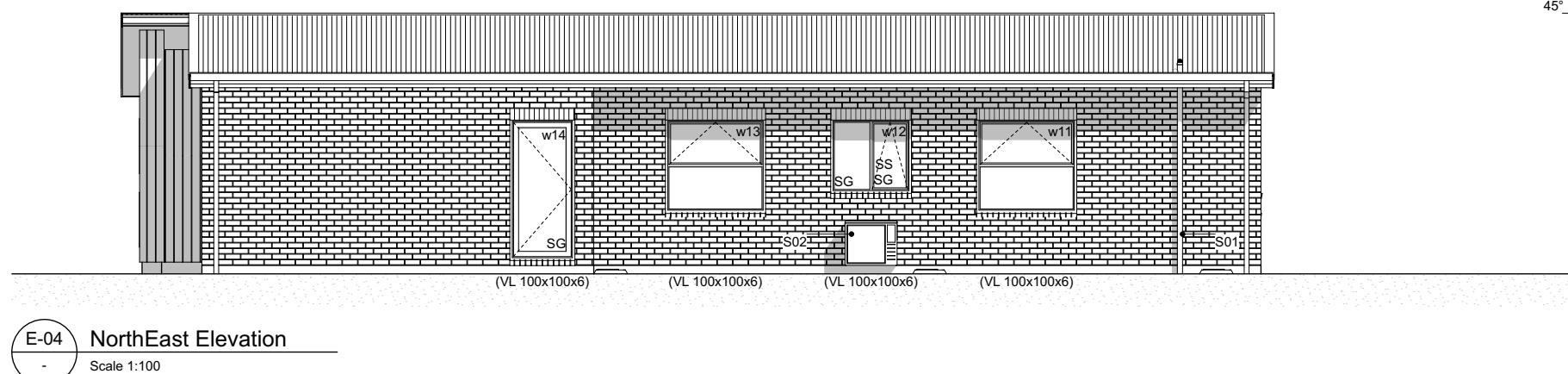
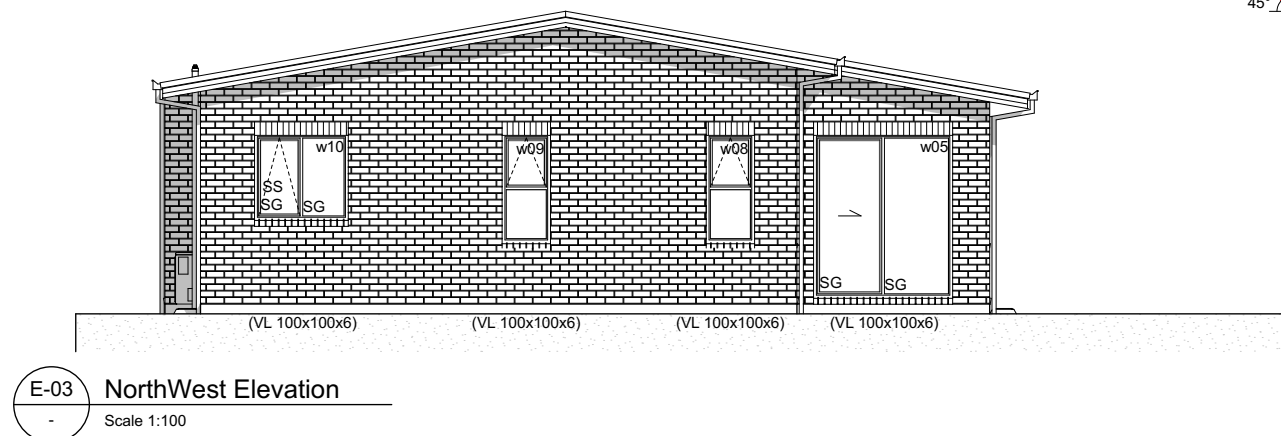
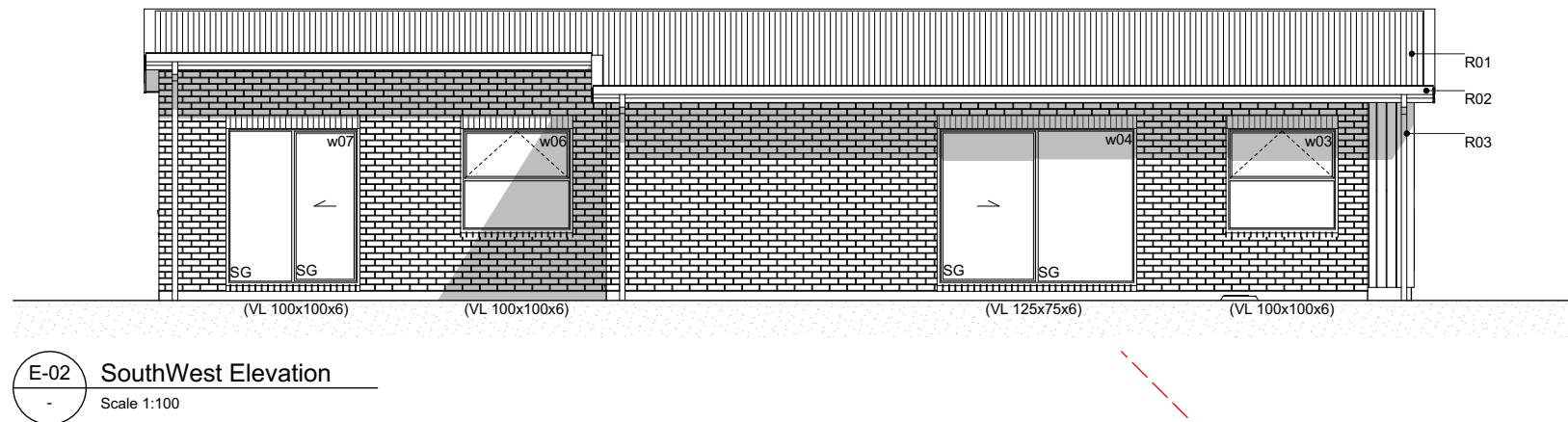
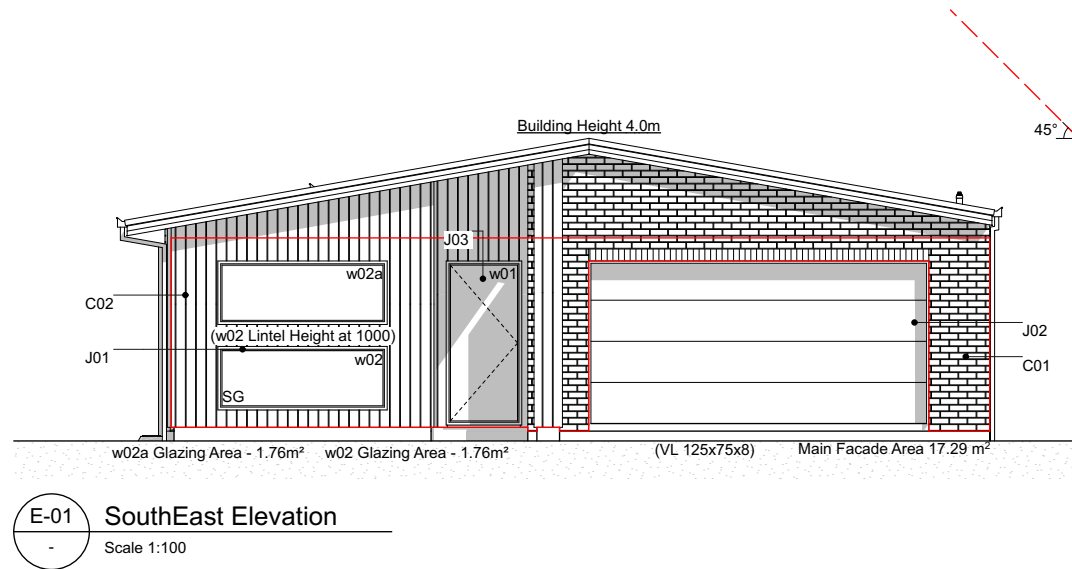
Roof Plan

Scale 1:100 @ A3

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Sheet No.

3



Elevation Keys

- | | |
|-----|----------------------------------------------------------------------------------------------|
| C01 | 70 series brick veneer over 50mm cavity. Soldier brick course above windows and doors heads. |
| C02 | Abodo Vulcan shi lap weatherboard on 20mm horizontal castellated cavity battens. |
| R01 | Colorsteel corrugate roofing. |
| R02 | Colorsteel Quad gutter supported by Colorsteel 185mm fascia. |
| R03 | Colorsteel 75x55mm downpipes. |
| J01 | Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames. |
| J02 | Sectional garage door. |
| J03 | APL entry door in thermally-broken powder coated aluminium frames. |
| S01 | Drainage vent pipe. |
| S02 | Heatpump outdoor unit on wall bracket. |

Legend

- | | |
|-----|---------------|
| w01 | Window ID |
| SS | Security Stay |
| SG | Safety Glass |
| VL | Venner Lintel |

General Notes

Driveway to fall from 20mm max. below garage rebate.

Veneer lintels fixing method 1
Minimum seating into adjacent veneer. On openings up to and including 2.0 m, a seating of 100 mm each side is required. On openings over 2.0 m, a seating of 200 mm is required.

Veneer lintels fixing method 2
Direct fixed to timber framing lintels using 75x10mm coach-screws at 450mm crs. Length of angle is kept 5mm short at each of the angle on face veneers, and 10mm short of the opening each end on plastered veneers.



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Elevations

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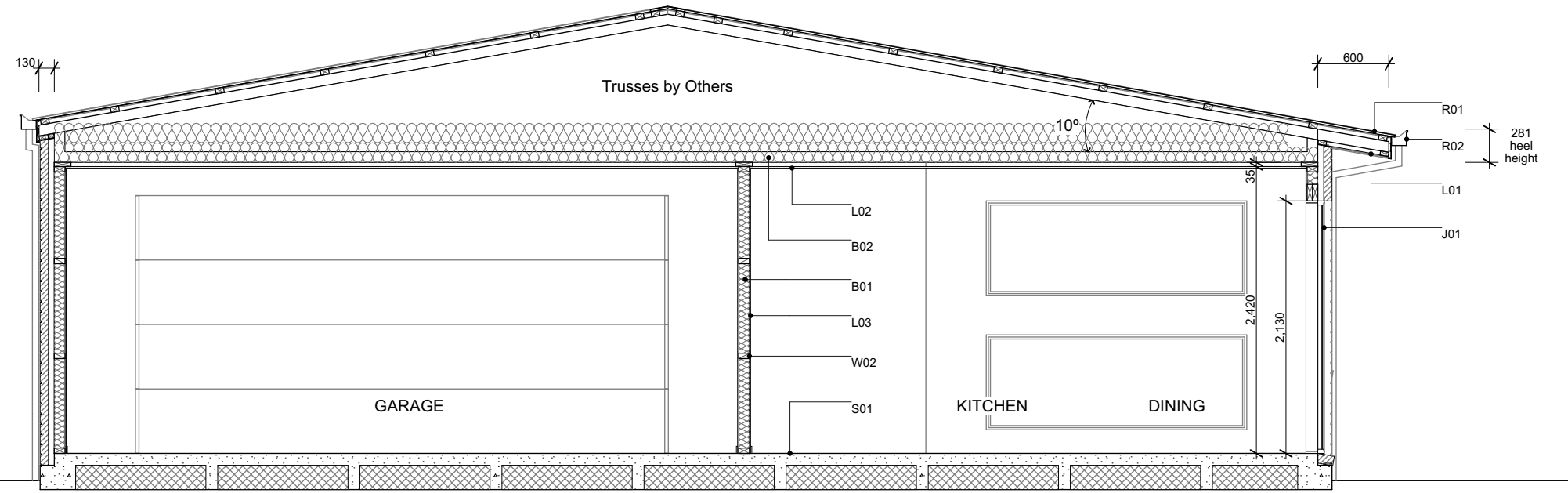
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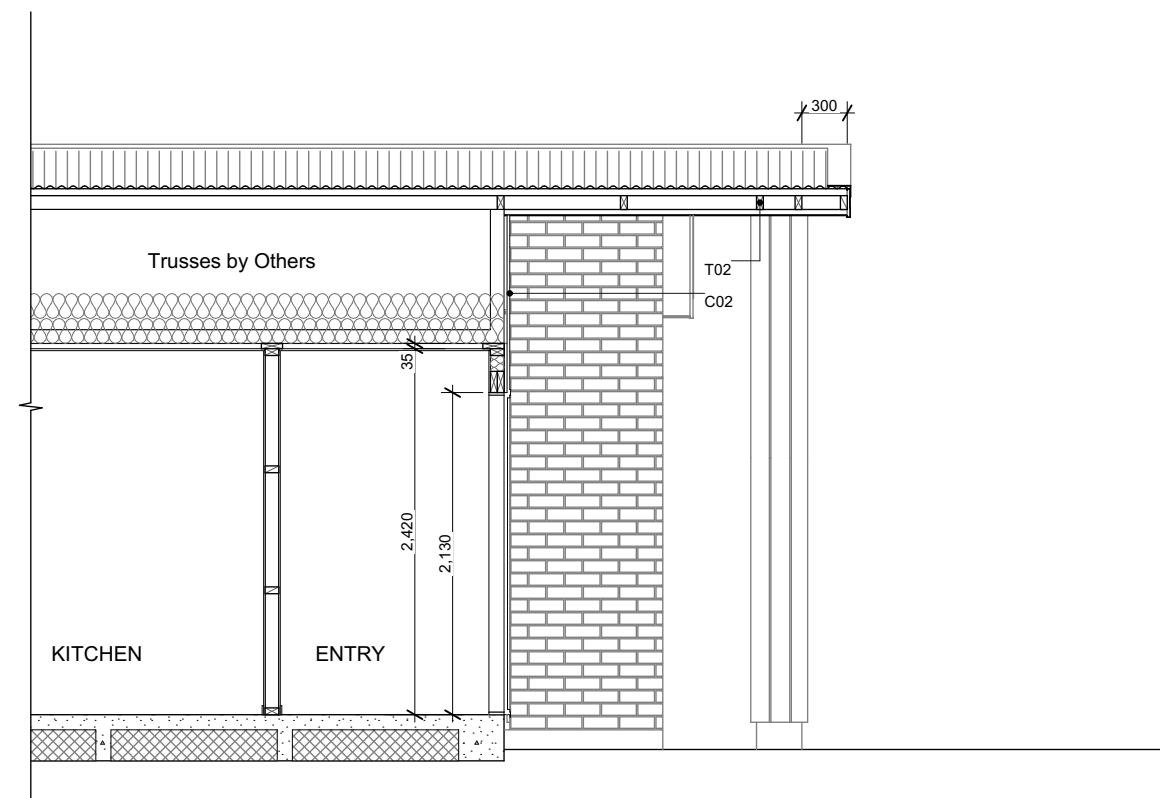
4

Section Keys

- C0170 series brick veneer over 50mm cavity over building underlay on timber framing.
- C02Abodo Vulcan shiplap weatherboard on 20mm horizontal castellated cavity battens over building underlay on timber framing.
- W01External walls 90x45mm studs @ 600mm crs, dwangs @ 800mm crs (dwangs @ 480mm crs for shiplap WB). Top plates 90x45 + 140x35mm.
- W02Internal walls 90x45mm studs @ 600mm crs, dwangs @ 800mm crs.
- S01Ribraft floor slab and foundation.
- T01Roof trusses as per Truss Design.
- T02Extended truss top chords / purlins to form raking soffit, refer to Truss Design.
- R01Colorsteel corrugate roofing over self-supported roof underlay on 70x45mm purlins on trusses.
- R02Colorsteel Quad gutter on Colorsteel fascia.
- R0375x55mm Colorsteel downpipes with wall brackets.
- J01Low E Argon filled double glazed windows in thermally-broken powder coated aluminium frames. H3.1 timber reveals for painted finish.
- J02Sectional garage door. H3.1 timber reveals for painted finish.
- B01R2.6 wall insulation batts.
- B022 x R3.6 (165mm) double layer ceiling insulation batts.
- B03R3.6 (130mm x 1200mm) Gutter Line insulation batts cut to size between the trusses and fit at the first 500mm from the centre of top plate. Maintain 25mm ventilation gap between top of insulation and roofing underlay.
- L014.5mm soffit linings for painted finish.
- L0213mm Gib ceiling linings supported by 35mm Rondo ceiling battens direct fixed @ 600mm crs. Stopped smooth for painted finish. (Wet area ceiling 13mm Gib Aqualine)
- L0310mm Gib wall linings stopped smooth for painted finish. (Wet area wall 10mm Gib Aqualine)



A Section A-A
- Scale 1:50



B Section B
- Scale 1:50



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Cross Sections

Scale 1:50 @ A3

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Note: Look at the Arbor Green Design Guide for Macrocarpa post specifications

The landscaper will use an assortment of plants from the list below:

- Agapanthus Peter Pan - Dwarf [blue Nile lily](#)
Acacia Limelight - Dwarf wattle
[Choisya Ternata](#) - Mexican orange blossom
[Carex Secta](#) - [Makura](#) sedge
Lavandula angustifolia 'Hidcote' - English Lavender
Pittosporum little gem
Thuja occidentalis Smaragd - Emerald Cedar
Viburnum tinus Eve Price
Azalea
[Corokia geentys green](#)
[Pseudowintera colorata](#) 'Red Leopard' - [Horopito](#)/Pepper tree
Camellia 'Cinnamon Cindy'

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Landscape Plan

Scale 1:100 @ A3

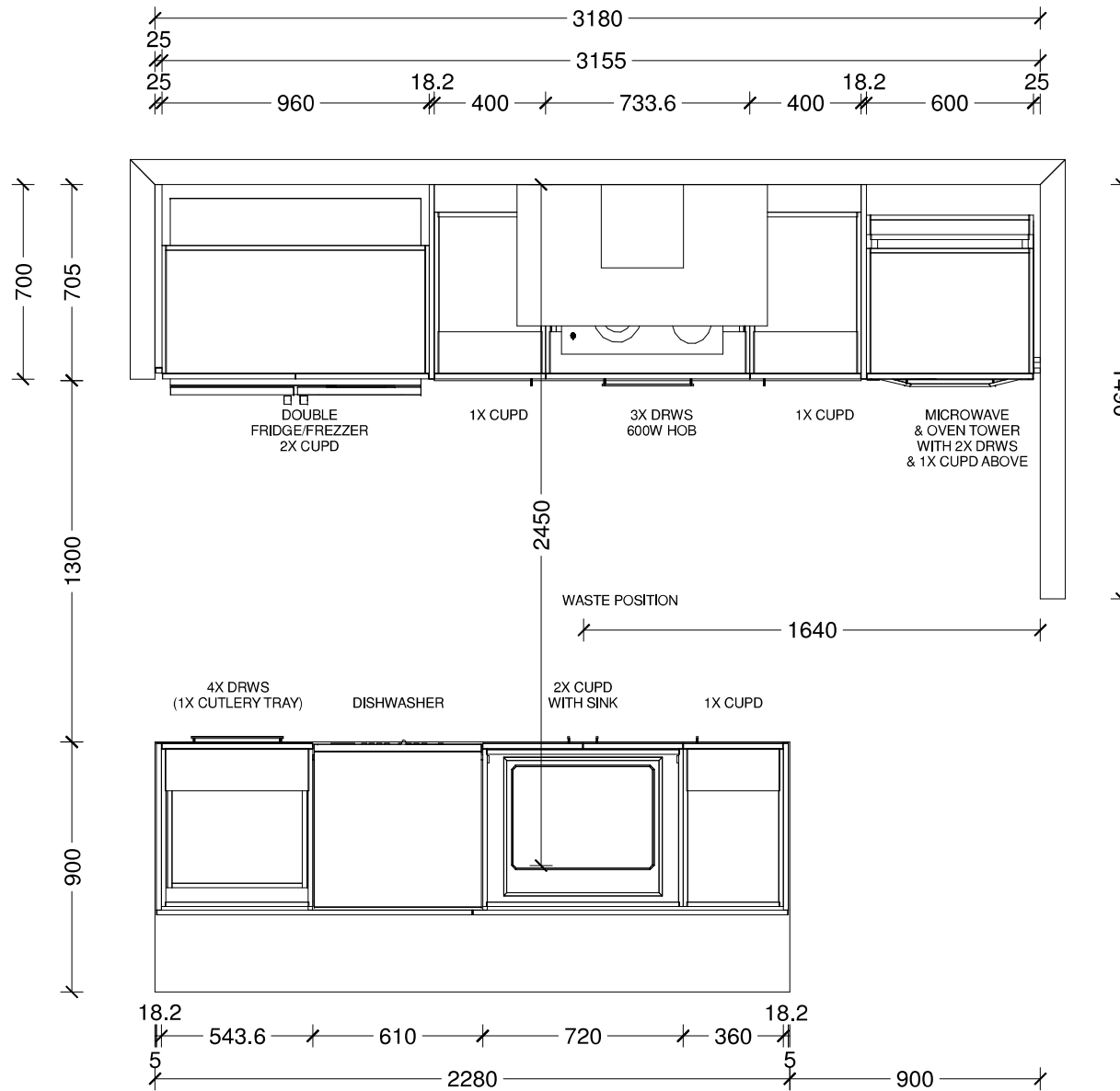
Revision
Date
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1.8m Juno Picket Panel Fence in Black



Legend

- Portuguese Laurel - Hedge
To be a min of 800 mm high
at time of planting and a
max of 600mm apart (stem
to stem)
- Grass
- Garden bed with bark
- Stonechip
- Timber batten edging
- 2.5m high (at time of planting)
Magnolia Tree - within 2m of
road frontage
- Macrocarpa posts 200 x
200 with capping, supplied
by Arbor Green. To be
installed by Oakridge
Homes. Mulseal and
concrete encase posts,
set back 900mm from
road boundary
and set off the driveway
edge by 200mm



Benchtop Colour:

12mm square edge Tristone in Pure White

Back Wall Joinery Colour:

Bestwood Simply White Embossed

Island Joinery Colour:

Bestwood Subtle Grey Velvet

Negative Detail Joinery Colour:

Bestwood Subtle Grey Velvet

Handles:

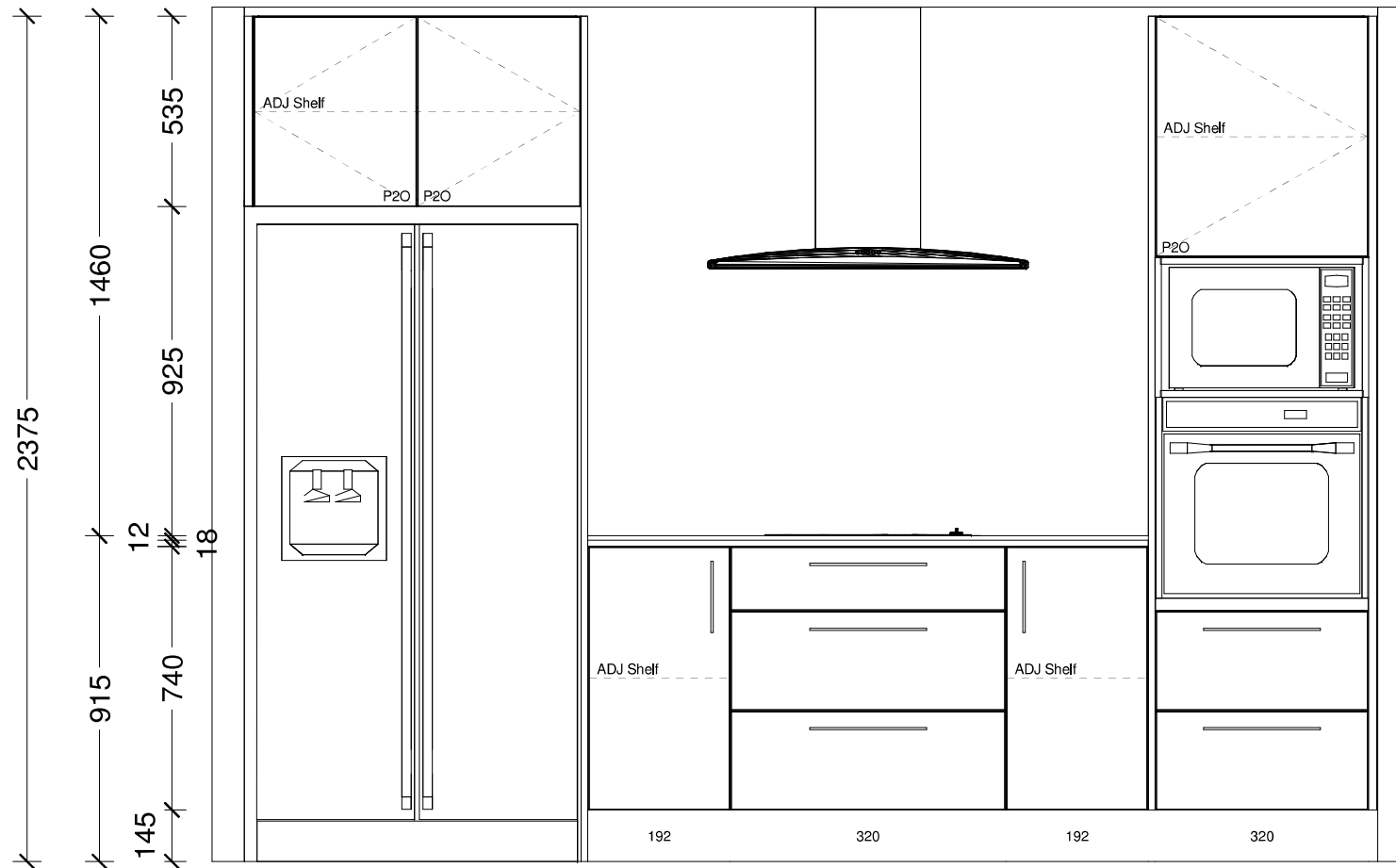
4062-192/320-Titanium Grey

Sink:

Lazio NZLSS-5545 Stainless Single Bowl

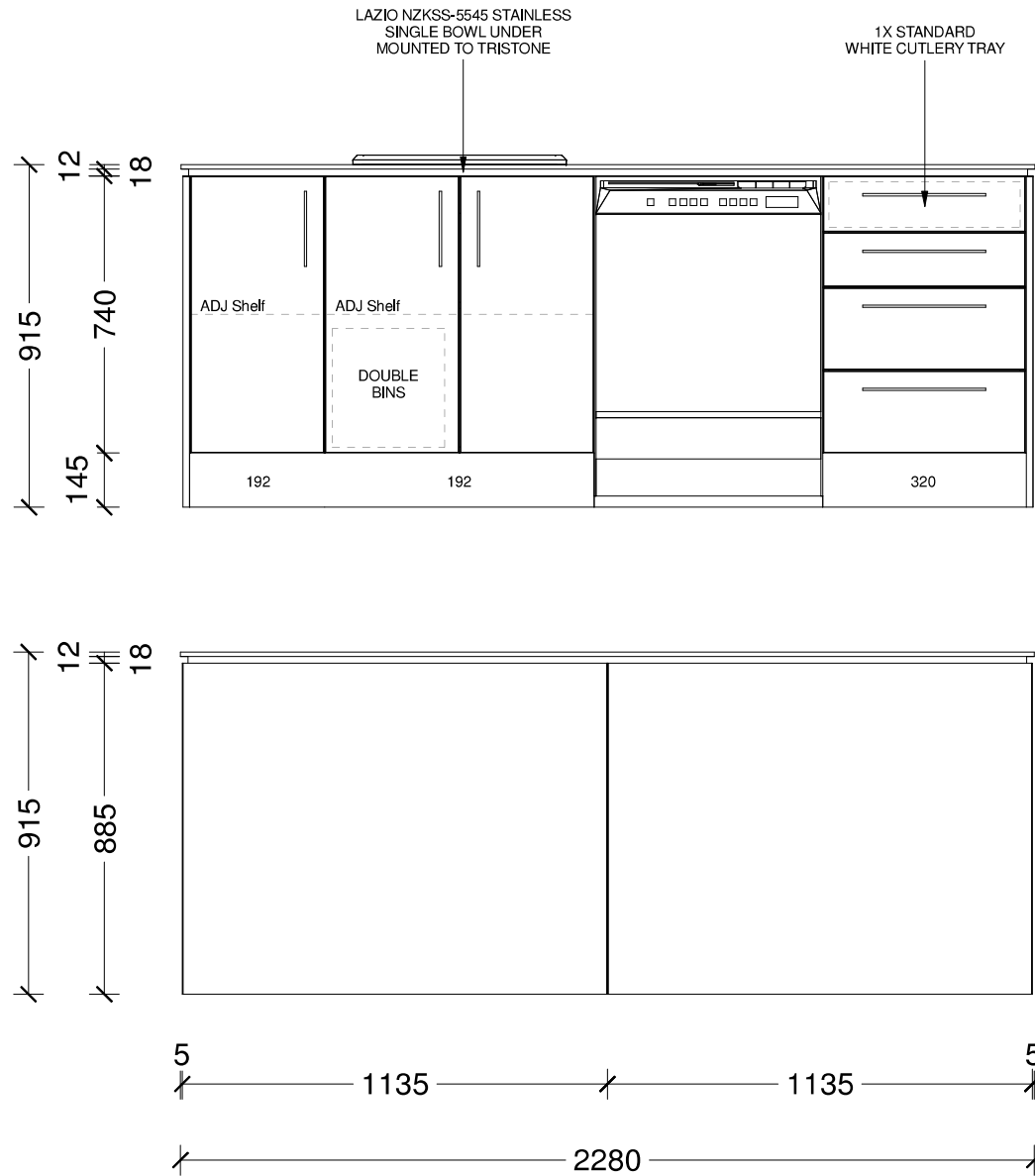
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Dwg: Kitchen Plan	Scale: 1 : 25	Customer: The Maple - Selwyn				

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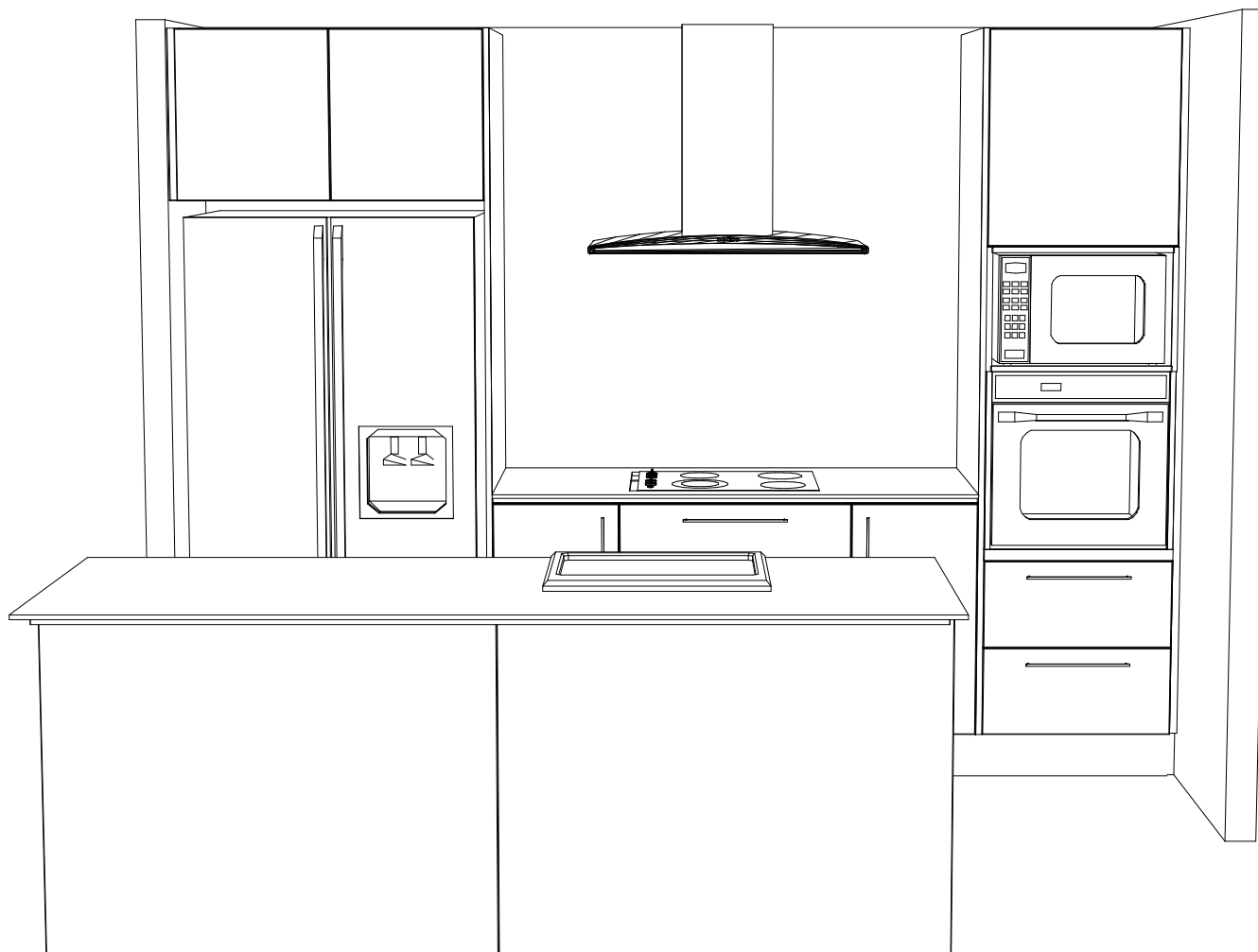
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Dwg: Kitchen Elevation	Scale: 1 : 20	Customer: The Maple - Selwyn				

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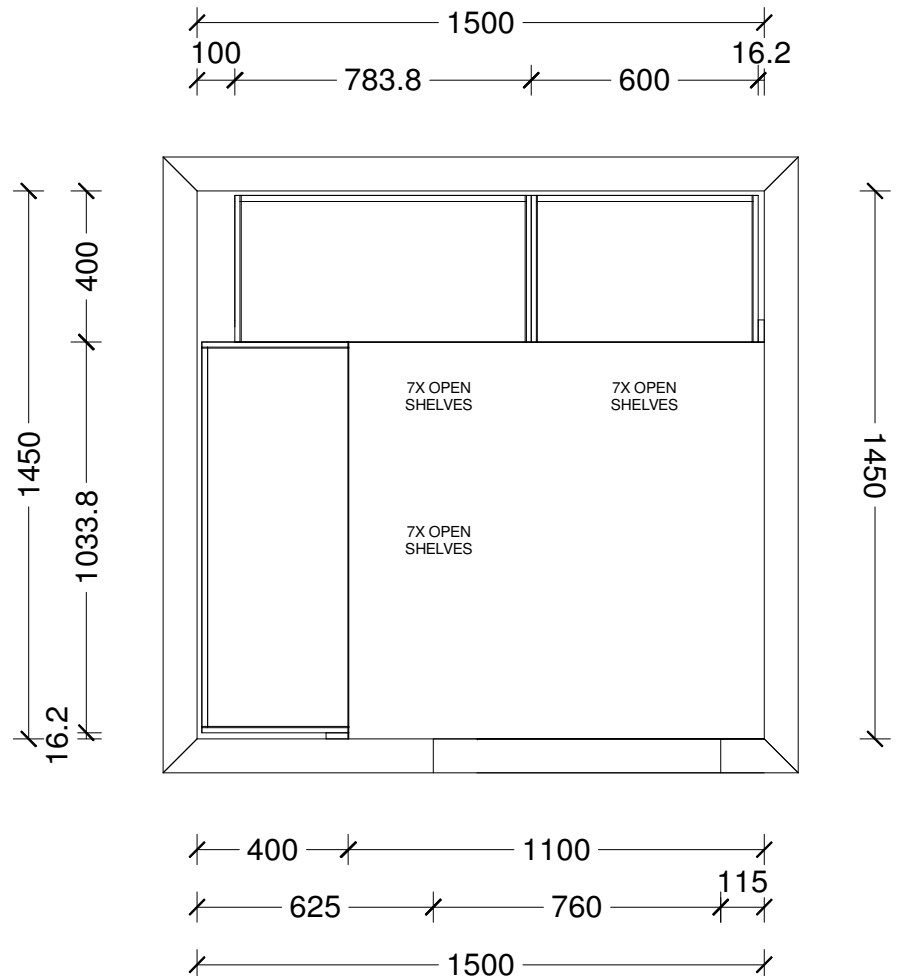
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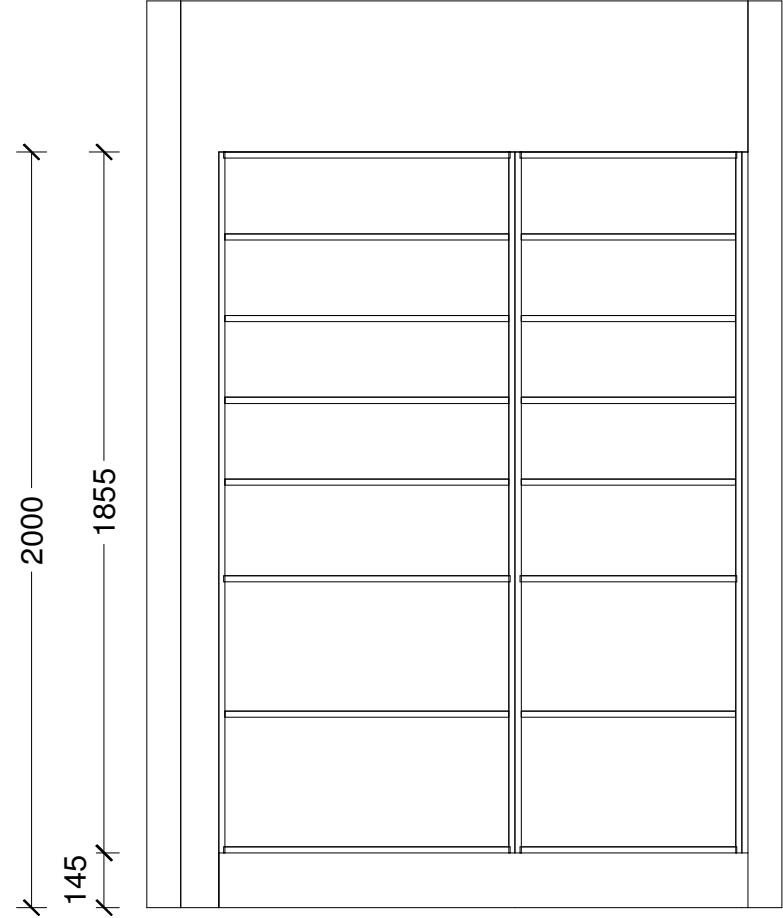
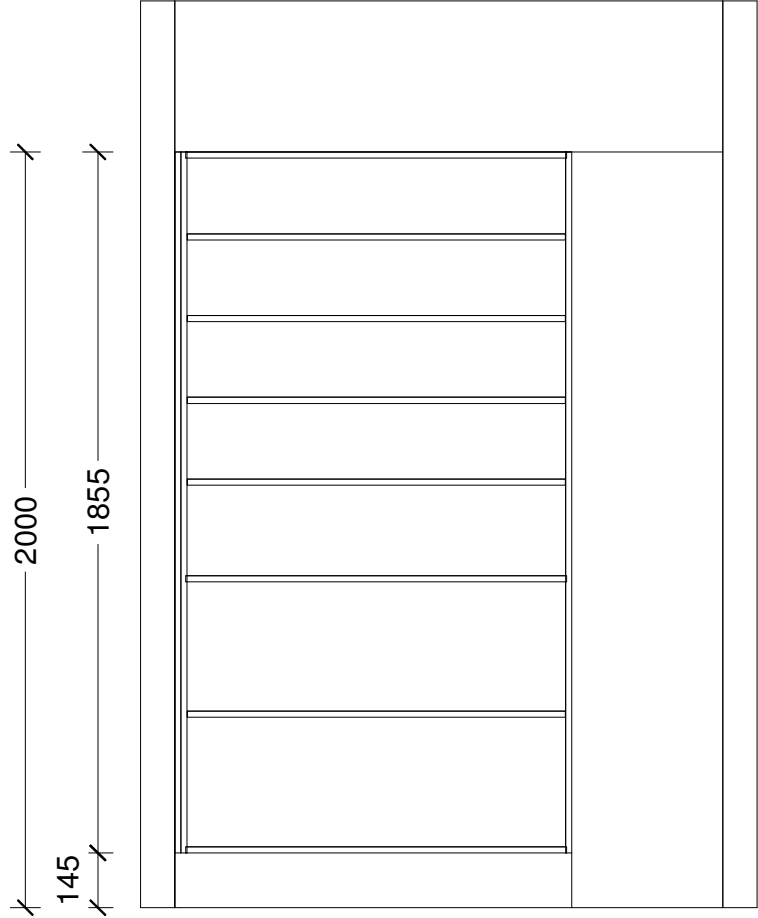
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Dwg: Kitchen 3D Perspective	Scale:	Customer: The Maple - Selwyn				

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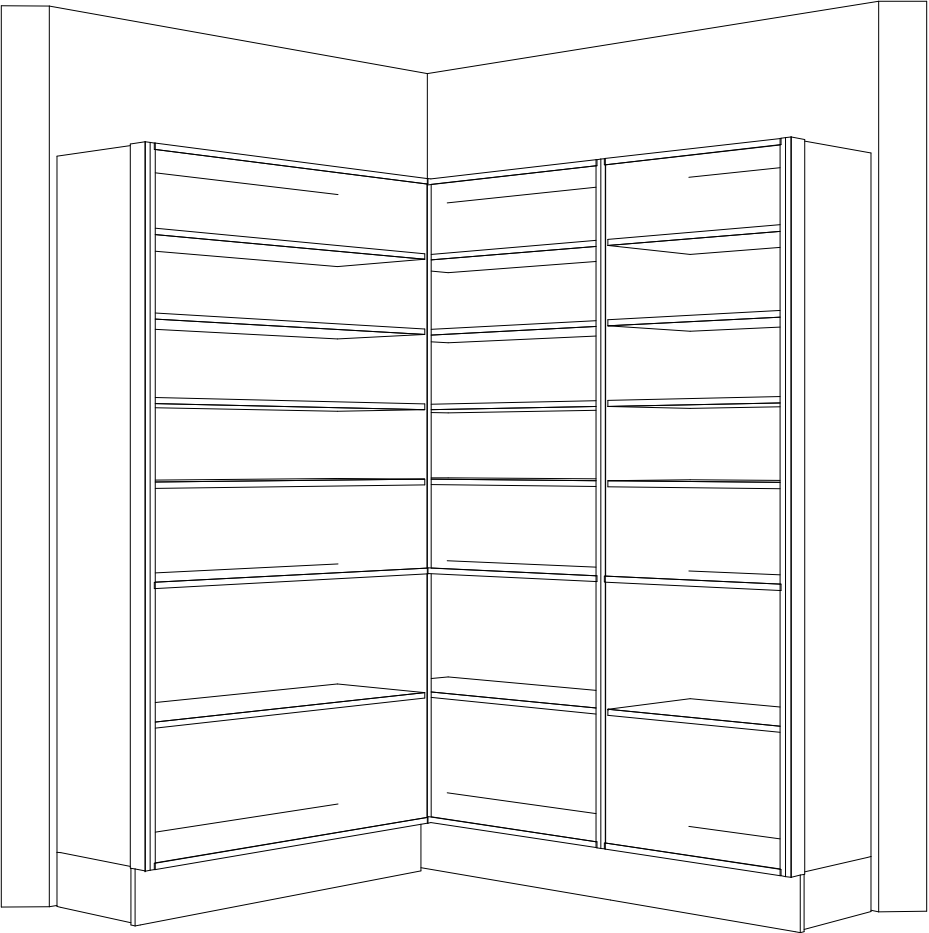


Designer: Sarah Molyneux	Date: 24 Feb 23	Client: Oakridge Homes	BC Ref: Job	Site Address:	Job#: Default	
Dwg: Pantry Plan	Scale: 1 : 20	Customer: The Maple - Pantry V2				

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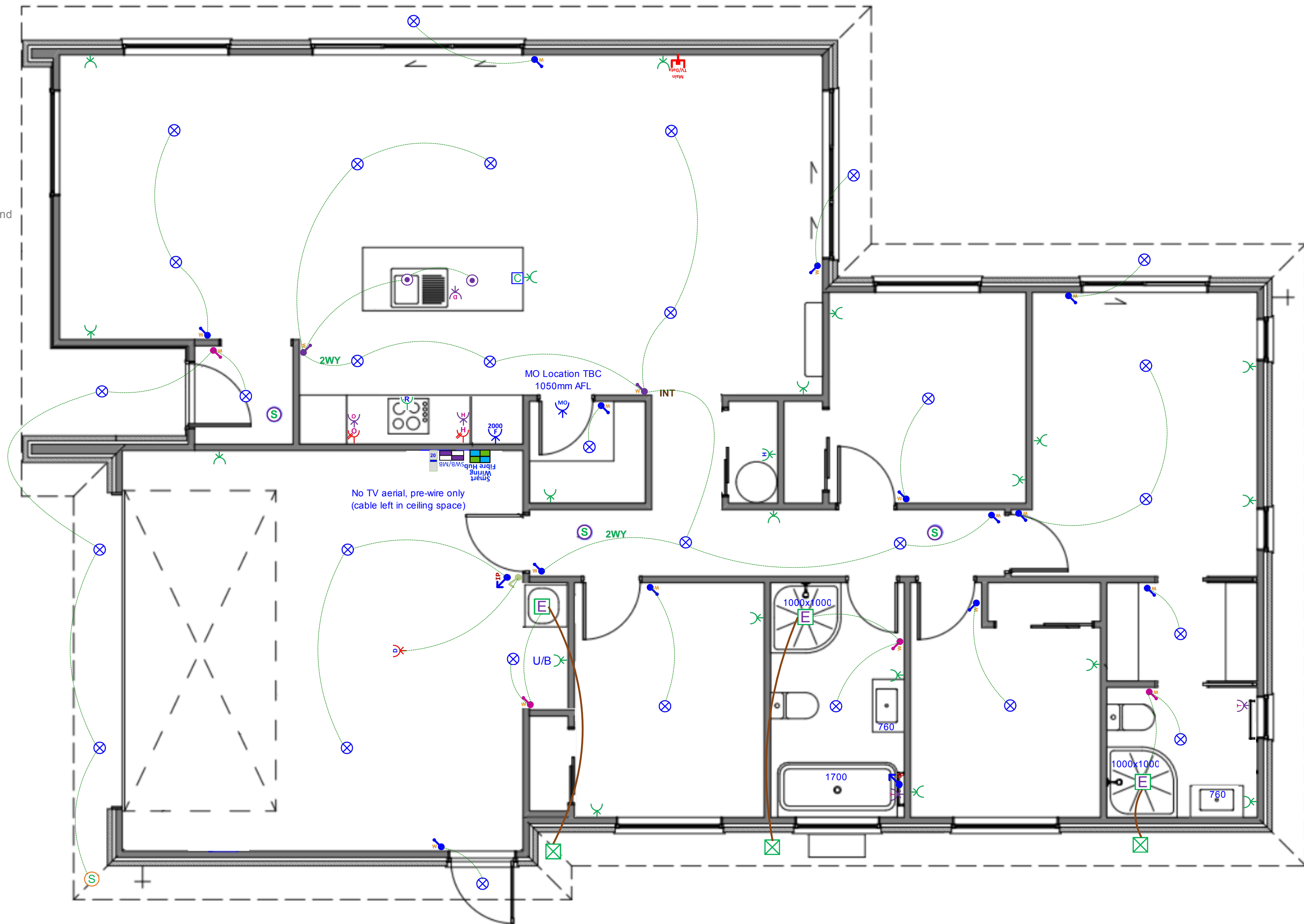
Designer: Sarah Molyneux	Date: 24 Feb 23	Client: Oakridge Homes	BC Ref: Job	Site Address:	Job#: Default	
Dwg: Pantry Elevation	Scale: 1 : 20	Customer: The Maple - Pantry V2				



Designer: Sarah Molyneux	Date: 24 Feb 23	Client: Oakridge Homes	BC Ref: Job	Site Address:	Job#: Default	
Dwg: Pantry 3D Perspective	Scale:	Customer: The Maple - Pantry V2				

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Gable End



Plan: The Maple Ver 1. STD (Garage Right Laundry Flipped) - Electrical Design

Electrical		
Item		Total
 Electrical Base with 34-Way Deep Combined Meter Switchboard		1 EA
 Tradesave Rangehood Plug		1 EA
 Tradesave Slim Single Power Socket - Fridge		1 EA
 Tradesave Slim Single Power Socket - Microwave		1 EA
 Tradesave Double Power Socket Horizontal (White) 10A		20 EA
 Capping for sockets and/or switches in joinery		1 EA
 Tradesave Slim Double Power Socket With Oven Isolator Slot		1 EA
 Tradesave Slim Double Power Socket With Hob Isolator Slot		1 EA
 Tradesave Slim Built In Oven Connection 20A		1 EA
 Tradesave Slim Electric Hob 32A		1 EA
 Tradesave Slim Dishwasher Plug		1 EA
 Garage Door Opener Switch (White)		1 EA
 Tradesave Slim Garage Door Socket & Switch		1 EA
 Tradesave Slim Hot Water Cylinder		1 EA
 Air Conditioning Circuit 20A MCB Installation For Heat Pump Circuit		1 EA
 Smoke Detector Mains Powered with 9V Battery Backup		3 EA
 Tradesave Slim Heated Towel Rail Circuit & Installation (Excludes supply of Towel Rail)		2 EA
 Extractor Fan 150mm		3 EA
 Extractor Fan External Grill		3 EA
 External 180 Degree Movement Sensor (White)		1 EA
 Recessed Downlight DL54 (White) and Circuit		30 EA
 Staverton Black 1L 365mm Pendant Light, LED Lamp & Circuit		2 EA
 Tradesave Slim White Light Switch 1 Gang		13 EA

Electrical

	Item	Total
	Tradesave Slim White Light Switch 2 Gang	4 EA
	Tradesave Slim White Light Switch 3 Gang	2 EA
	Excel Life White IP Rated Light Switch 1 Gang	2 EA
	2-Way Light Circuit	2 EA
	Tradesave Slim 3-way Switching White	1 EA
	Smart Wiring 20" Hub & Fibre Optic Pathway incl Power Circuit	1 EA
	Tradesave Slim Main TV/Data Socket (Cat6)	1 EA